



AGENDA
FOR THE ORDINARY MEETING
OF COUNCIL
TO BE HELD IN
THE COUNCIL CHAMBERS, YALGOO
ON FRIDAY, 25 JUNE 2021
COMMENCING 10.00 AM



SHIRE OF YALGOO

NOTICE OF ORDINARY MEETING

THE NEXT ORDINARY MEETING OF COUNCIL WILL BE HELD IN THE COUNCIL CHAMBERS,
YALGOO ON FRIDAY, 25 JUNE 2021
COMMENCING AT 10.00 AM.

Ian Holland
Chief Executive Officer



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Agenda for the Ordinary Meeting of the Yalgoo Shire Council,
to be held in the Council Chambers, 37 Gibbons Street, Yalgoo,
on 25 June 2021, commencing at 10.00 am.

PLEASE TURN OFF ALL MOBILE PHONES PRIOR TO THE COMMENCEMENT OF THE MEETING

1. DECLARATION OF OPENING/ANNOUNCEMENT OF VISITORS

2. RECORD OF ATTENDANCE/APOLOGIES/LEAVE OF ABSENCE

MEMBERS

STAFF

GUESTS

OBSERVERS

LEAVE OF
ABSENCE

APOLOGIES

3. DISCLOSURE OF INTERESTS

Disclosures of interest made before the Meeting

4. PUBLIC QUESTION TIME

4.1 RESPONSE TO QUESTIONS TAKEN ON NOTICE

4.2 QUESTIONS WITHOUT NOTICE

5. MATTERS FOR WHICH THE MEETING MAY BE CLOSED

6. APPLICATIONS FOR LEAVE OF ABSENCE

Cr Gail Simpson has requested a leave of absence on 25th June 2021

OFFICER RECOMMENDATION

CR GAIL SIMPSON REQUEST FOR LEAVE OF ABSENCE ON THE 25th JUNE 2021

That Council approve a leave of absence for Cr Gail Simpson for the remainder of this Ordinary Council Meeting 25th June 2021.

Moved:	Seconded:	Motion put and carried:
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Seconded:

Motion put and carried:

7. ANNOUNCEMENTS CONCERNING MEETINGS ATTENDED

7.0 MEETINGS ATTENDED BY ELECTED MEMBERS

[illegible]

8. CONFIRMATION OF MINUTES

8.1 ORDINARY COUNCIL MEETING

Background

Minutes of the Ordinary Meeting of Council have previously been circulated to all Councillors.

Voting Requirements

Simple majority

Officer Recommendation

MINUTES OF THE ORDINARY COUNCIL MEETING HELD 28 MAY 2021

That the Minutes of the Ordinary Council Meeting held on 28 May 2021 be confirmed as a true and correct record of proceedings.

Moved:

Seconded:

Motion put and carried/lost

8.2 SPECIAL COUNCIL MEETINGS

Background

Minutes of the following Special Meetings of Council have previously been circulated to all Councillors:

Voting Requirements

Simple majority

OFFICER RECOMMENDATION

Minutes of the Special Meeting held 14 June 2021

That the Minutes of the Special Council Meeting held on the 14 June 2021 be confirmed as a true and correct record of proceedings.

Moved:

Seconded:

Motion put and carried/lost

9. MINUTES OF COMMITTEE MEETINGS

10. PETITIONS/DEPUTATIONS/PRESENTATIONS/SUBMISSIONS/Other Matters

MEEDAC will be presenting on changes to the Yalgoo Community Development Program.

10.0 INFORMATION ITEMS

Sharing of operational information on items that are not confidential, do not require a decision and do not meet the definition of matters for which the meeting may be closed under section 5.23 of the Local Government Act (e.g.: matters affecting employee/s or the personal affairs of any person).

11. MATTERS FOR DECISION

11.0 MATTERS BROUGHT FORWARD

11.1 TECHNICAL SERVICES

11.1.1 PROGRESS REPORT ON THE CAPITAL WORKS PROGRAM 2020-21

Author:	Dominic Carbone
Interest Declared:	No interest to disclose
Date:	14 June 2021
Attachments	NIL

MATTER FOR CONSIDERATION

To Receive the Progress Report on the 2020-2021 Capital Works Program.

BACKGROUND

The Shire in adopting its 2020-2021 Annual Budget has allocated funds amounting to \$3,732,078 for the purpose of acquiring capital assets and undertaking infrastructure works.

STATUTORY ENVIRONMENT

NIL

STRATEGIC IMPLICATIONS

Timely delivering of the various capital projects which will deliver the objectives of the Community Strategic Plan.

POLICY IMPLICATIONS

NIL

FINANCIAL IMPLICATIONS

To deliver the Capital Works Program within the budgeted allocations.

CONSULTATION

NIL

COMMENT

The Capital Works Projects for the 2020-2021 financial year are detailed be:

CAPITAL WORKS PROGRAMME 2020-21

The following assets and works are budgeted to be acquired or undertaken during the year:

				2020-21 ANNUAL BUDGET	2020-21 MAY ACTUAL	VARIANCE FAV (UNFAV)	COMMENTS
				\$	YTD \$	\$	
<u>By Program</u>							The CEO to provide a verbal update on the status of the capital projects as at 31 May 2021
Governance							
000000-Admin Computers Hardware and System Upgrade	F & E			37,500	0	37,500	
000000-Admin Upgrade Cabling Fibre	F & E			13,000	12,111	889	Project completed with savings
000000-External Monitor Display	F & E			40,000	1,148	38,852	Project commenced
000000-Admin Fire Proof Safe	F & E			11,000	813	10,187	Project commenced
000000-Financial Software	F & E			100,000	80,000	20,000	Project commenced
Law Order Public Safety							
000000- CCTV Yalgoo Townsite	F & E			30,000	0	30,000	
Housing							
000000-Other Housing - Nurse Accommodation	L & B			250,000	5,123	244,877	Project commenced
Communities Amenities							
000000- Community Bus	P & E			130,000	118,315	11,685	Project completed with savings
000000- Yalgoo Rubbish Tip	Other			0	18,062	(18,062)	Expenditure not budgeted

		2020-21 ANNUAL BUDGET	2020-21 MAY ACTUAL	VARIANCE FAV (UNFAV)	COMMENTS
		\$	YTD \$	\$	
<u>By Program</u>					The CEO to provide a verbal update on the status of the capital projects as at 31 May 2021
Recreation and Culture					
000000 - Community Hall Renovations	L & B	600,000	2,000	598,000	Awaiting grant application
000000 - Museum Improvements	L & B	117,157	0	117,157	Change to Tourism and Heritage Plan
000000-Art Centre	F & E	4,500	0	4,500	
000000- Sports Complex	F & E	500	0	500	
000000- Sports Complex -Footpath to School	Recreation	29,256	18,182	11,074	Project commenced
Transport					
000000- Machinery Shed Depot Concrete Floor 2 Bays	L & B	20,000	23,368	(3,368)	Project completed with over expenditure
000000- Street Lighting	Other	50,000	4,759	45,241	Project commenced
000000-Works Foreman Ute	P & E	75,000	69,913	5,087	Project completed with savings

			2020-21 ANNUAL BUDGET	2020-21 MAY ACTUAL	VARIANCE FAV (UNFAV)	COMMENTS
			\$	YTD \$	\$	
<u>By Program</u>						The CEO to provide a verbal update on the status of the capital projects as at 31 May 2021
000000- Grader	P & E		380,000	379,130	870	Project completed with minor savings
000000- Trailer Side Tipper	P & E		180,000	192,270	(12,270)	Project completed with over expenditure
000000- Truck Tipper	P & E		80,000	69,170	10,830	Project completed with savings
000000- Fuel Tank	P & E		2,100	0	2,100	
000000- Diesel Air Compressor	P & E		3,200	0	3,200	
000000- Generator 4.5 kva	P & E		6,000	0	6,000	
000000- Road Sweeper Attachment	P & E		25,000	0	25,000	
000000- Paynes Find Public Toilets	Other		33,655	0	33,655	
000000- Paynes Find Entry Statements	Other		30,000	1,148	28,852	Signage being manufactured
ROADS TO RECOVERY GRANTS						
000000- Yalgoo/Morawa Road - Widen to 7m	Roads		380,000	239,119	140,881	Project complete – awaiting final invoice
RRG SPECIAL GRANT RD WORKS						
000000- Yalgoo/Ninghan Road - Seal to width 4m	Roads		514,110	299,419	214,691	Project near completion

		2020-21 ANNUAL BUDGET	2020-21 MAY ACTUAL	VARIANCE FAV (UNFAV)	COMMENTS
		\$	YTD \$	\$	
<u>By Program</u>					The CEO to provide a verbal update on the status of the capital projects as at 31 May 2021
Municipal Funds					
000000- Sandford River Crossing	Roads	25,000	0	25,000	
000000- Badja Woolshed Seal to Airstrip	Roads	80,000	0	80,000	
Economic Services					
000000-Caravan Park - Upgrade Water and Power Supply	L & B	30,000	0	30,000	
000000-Caravan Park - 2 Self Contained Accommodation Units	L & B	340,000	169,009	170,991	Project commenced
000000-Caravan Park -CCTV	F & E	13,600	0	13,600	
000000-HCP Program- Computer	F & E	1,500	0	1,500	
Other Properties and Services					
000000-Shire Building- Solar Panels	L & B	100,000	0	100,000	
		3,732,078	1,703,059	2,029,019	

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION

PROGRESS REPORT ON THE CAPITAL WORKS PROGRAM 2020-2021

That Council receive the Progress Report on the Capital Works Program 2020 – 2021 as at 31 May 2021.

Moved:

Seconded:

Motion put and carried/lost

11.1.2 TECHNICAL SERVICES MONTHLY REPORT AS OF 21 June 2021

Author:	Craig Holland, Works Foreman
Interest Declared:	No interest to disclose
Date:	21 June 2021
Attachments	Nil

MATTER FOR CONSIDERATION

That Council receives the Technical Services Monthly Report as at 21 June 2021.

BACKGROUND

Nil

STATUTORY ENVIRONMENT

Nil

STATUTORY IMPLICATIONS

Nil

CONSULTATION

Nil

COMMENT

1 ROAD CONSTRUCTION – CAPITAL

Yalgoo-Ninghan Road - 8.5 KM of road works ongoing: using Grader, Roller, Water Cart & Loader.

Yalgoo-Morawa Road – 7.5 KM of Bitumen Widening by Rowe Contractors completed.

2 ROAD MAINTENANCE - OPERATIONS

Yalgoo-Morawa Road – Flood damage repair carried out.

Thundelarra Road – Maintenance grade carried out

Maranalgo Road – Maintenance grade carried out

Yalgoo-Ninghan Road – 8.5 km of road works south of Thundelarra Station turn of

3 OTHER INFRASTRUCTURE MAINTENANCE

YA 1000 – 30,000 km service

YA 0 – 60,000/70,000 km service

4 PARKS, RESERVES AND PROPERTIES

4.1 Art & Culture Centre

General gardening maintenance carried out.

4.2 Community Town Oval

Water test done: very high class 4 salinity detected (4110)
Extremely high chlorine detected (1125)
Very high sodium detected (520)

4.3 Community Park, Gibbons Street

General gardening maintenance conducted on a weekly bases
mowing, pruning, and watering.

4.4 Community Park, Shamrock Street

General gardening maintenance conducted on a weekly bases
mowing, pruning, and watering.

4.5 Water Park

General gardening maintenance conducted on water park.

4.6 Yalgoo Caravan Park

General gardening maintenance is done every two weeks.

4.7 Paynes Find.

NIL

4.8 Railway Station

General gardening maintenance conducted on a weekly bases Mowing, pruning and watering.

4.9 Yalgoo Nursing Post

No changes or additions to the nursing post, besides general gardening maintenance.

4.10 Staff Housing

1 Stanley Street – Fire damage repair date to be confirmed

Contractors have been awarded contracts as part of an insurance claim to repair the fence at Shamrock Street Staff Housing Units.

4.11 Yalgoo Rubbish Tip

Tip head pushed over on a weekly bases.

4.12 Yalgoo & Paynes Find Airstrip

Both Airstrip inspected and all good

5 INFRASTRUCTURE – CAPITAL

NIL

PRIVATE WORKS

NIL

6 PURCHASING

Mosquito control - New 11 Litre Granule Applicator ULV-LV Nebuliser.

7 STAFF

Trevor Field – Driver training completed now holds MC Licence.

Ian Holland – Completed Fire Control Officers Course.

Craig Holland – Completed Fire Control Officers Course.

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION

Technical Services Monthly Report as at the 21 June 2021

That Council:

Receive the Technical Services report as at 21 June 2021 2021.

Moved:

Seconded:

Motion put and carried:

11.2 DEVELOPMENT, PLANNING AND ENVIRONMENTAL HEALTH

11.2.1 DEVELOPMENT APPROVAL APPLICATION – MT GIBSON SANCTUARY DA (Lot 4253)

Author:	Paul Bashall, PLANWEST (WA) Pty Ltd
Interest Declared:	No interest to disclose
Date:	May 2021
Attachments	Copy of DA

MATTER FOR CONSIDERATION

That Council determine a Development Approval (DA) application for a single-storey accommodation unit on Lot 4253 Mt Gibson Road, Paynes Find.

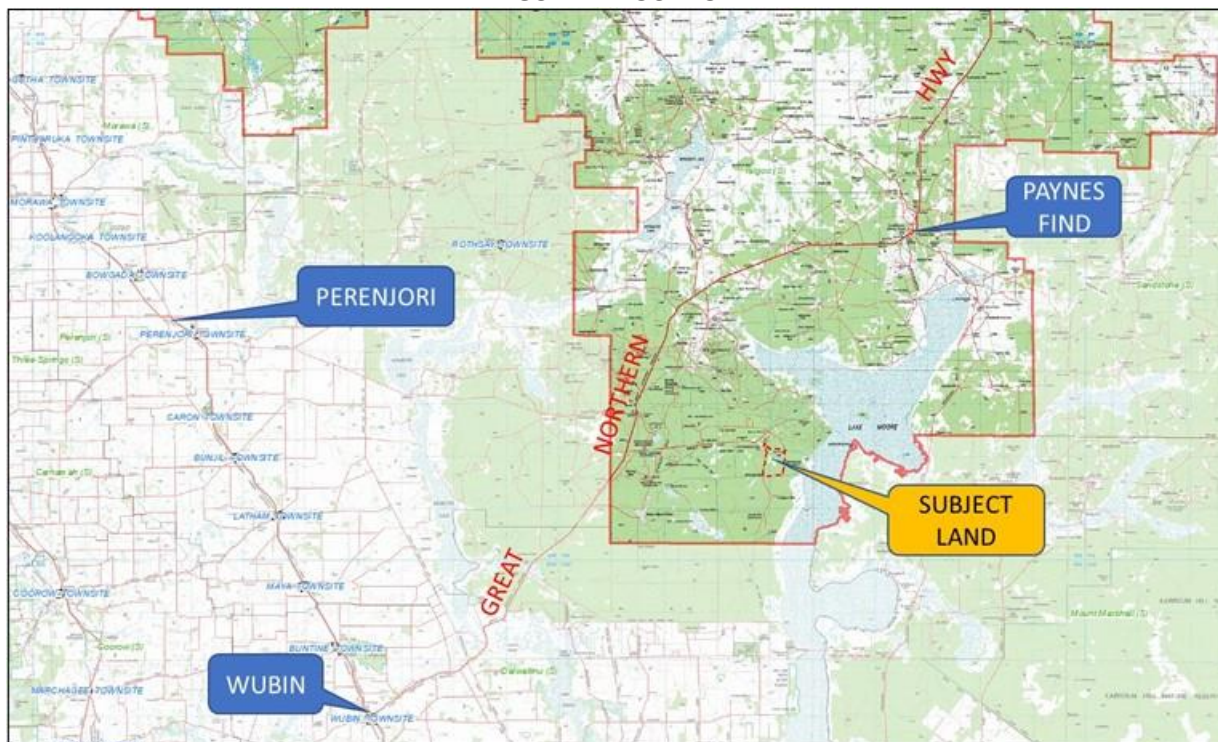
BACKGROUND

The land on which the proposed single-storey accommodation unit is located about 50 kilometres south south-west of the Paynes Find roadhouse. The lot (Lot 4235) is land-locked without a legal road frontage and is reserved in the Council's Local Planning Scheme No 2 (the Scheme) for 'Recreation'.

The DA has been lodged by the Australian Wildlife Conservancy to provide accommodation for workers. At the time of this report the Shire is still seeking a letter authorising the development application from the Pastoral Lease holder. DA will not be provided until this is supplied but the report has been provided to Council for expediency.

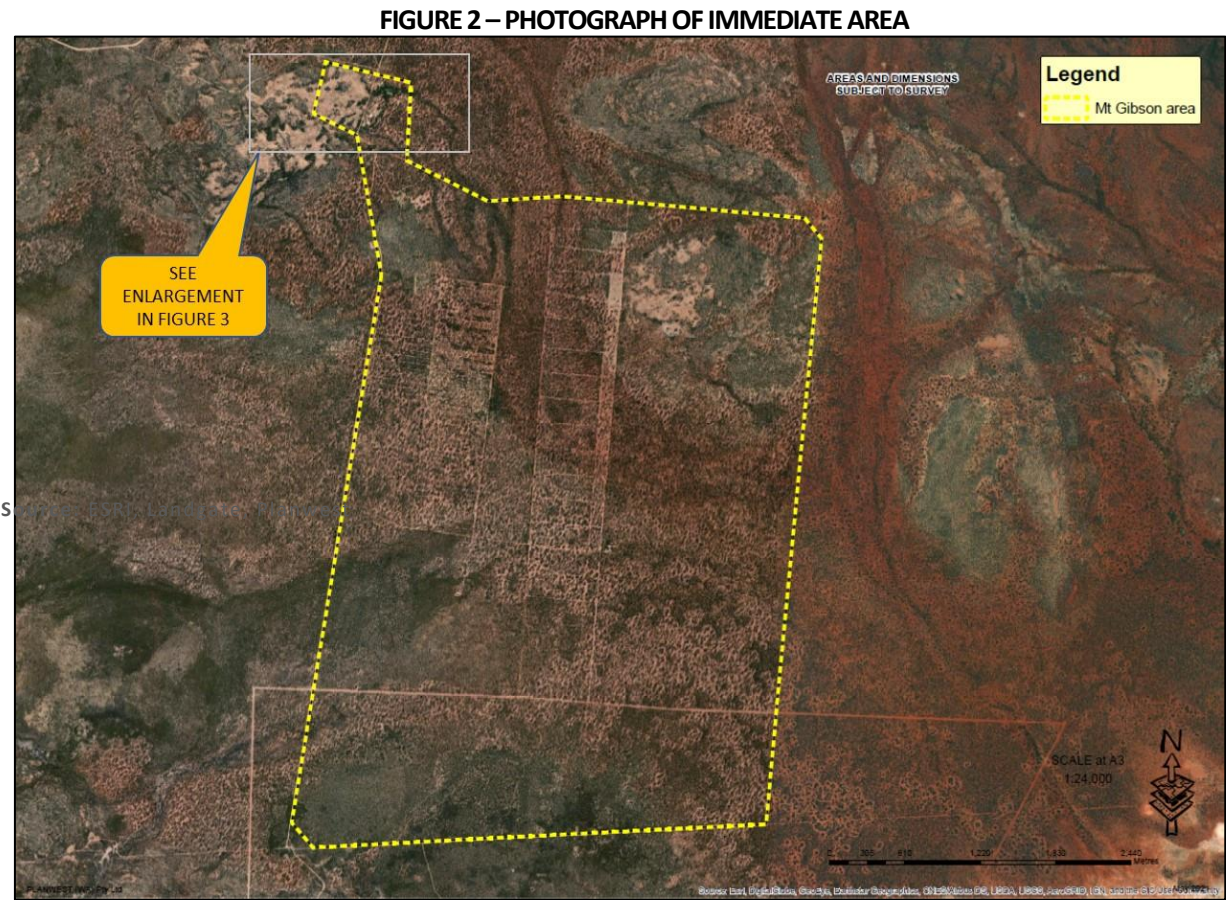
The subject land is located over 300 kilometres from Perth, 160 from Yalgoo, 90 from Wubin and 82 from Kalannie (distances 'as the crow flies'). **Figure 1** shows the location in respect to the wider region.

FIGURE 1 – LOCATION PLAN



Source: Landgate, Planwest

Figure 2 provides an aerial photograph of the immediate surrounding area.



Source: ESRI, Landgate, Planwest

Figure 3 provides an oblique photograph from the Google Maps showing the northern portion of the land parcel area around the proposed single-storey accommodation unit (the proposed site of the unit marked with a red star).



Access to the site appears to be via Mt Gibson Road which is about 1.6 kilometres north of the nearest part of the Lot. The lot is 131,750 hectares, and measures about 5 kilometres by 3.6 kilometres wide, and is mostly composed of woodlands.

STATUTORY ENVIRONMENT

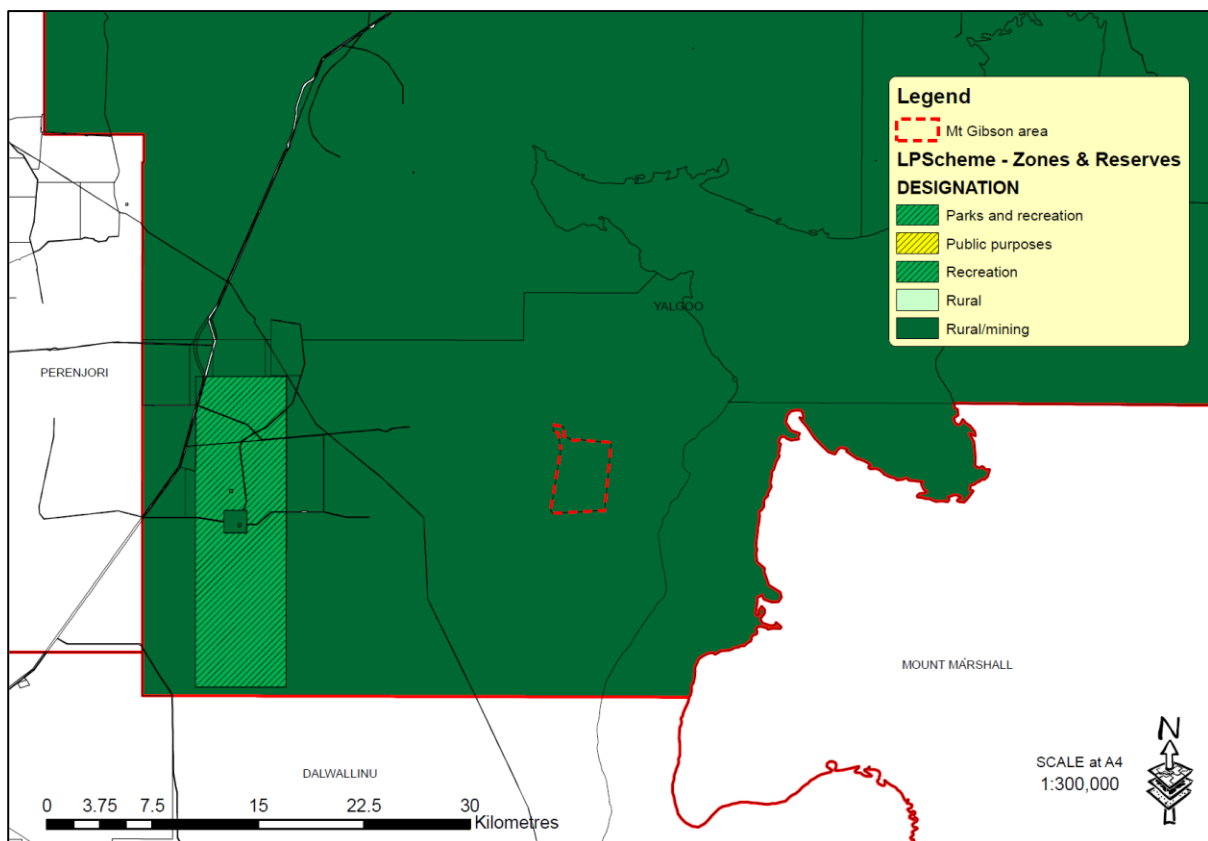
The Local Planning Scheme No 2 (the Scheme) was gazetted on 5th October 2011.

The Deemed Provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* exempt single dwellings from requiring a DA if the dwelling complies with the R codes (Residential Design Codes) and the dwelling is on land where a dwelling is permitted.

In this case the proposed dwelling is on land reserved in the Scheme for 'Recreation' and is also within the Bushfire Prone mapping area, as such the exemption does not apply.

Figure 4 below provides an extract from the Scheme maps.

FIGURE 4 – EXTRACT FROM SCHEME 2 MAPPING



Source: DPLH, Planwest

Clause 3.4 of the Scheme provides for the process for development on land designated as a local scheme reserves and is as follows.

3.4 Use and development of Local Reserves

3.4.1 A person must not —

- a) use a Local Reserve; or
 - b) commence or carry out development on a Local Reserve,
- without first having obtained planning approval under Part 9 of the Scheme.

3.4.2 In determining an application for planning approval the local government is to have due regard to —

- a) the matters set out in clause 10.2; and

b) the ultimate purpose intended for the Reserve.

3.4.3 *In the case of land reserved for the purposes of a public authority, the local government is to consult with that authority before determining an application for planning approval.*

STRATEGIC IMPLICATIONS

The Council prepared a Local Planning Strategy in 2010 that was endorsed by the WA Planning Commission in March 2011.

The Community Strategic Plan is an important document that details the aspirations and future projects of the Shire of Yalgoo, as determined by the Council. The document is used to assist preparation of future budgets and support grant applications.

The Strategy focusses on Yalgoo Townsite and has no specific recommendations that impact the current DA at Mt Gibson. However, the Strategy identifies the importance of protecting remnant vegetation for

- maintaining evolutionary opportunities, functional links (corridors), nutrient cycling, groundwater recharge, erosion protection.
- Providing examples of ecosystems, communities or habitats, benchmark sites and important research sites.
- Conservation of individual species and gene pools as a local seed source.
- Social values – recreation, aesthetics, public education etc, and
- forming part of a regional perspective.

The establishment of a residence for a caretaker on site will allow for a better opportunity for Wildlife staff to protect the native vegetation and carry out the uses permitted by the Pastoral Lease, and as such the proposal is supported.

CONSULTATION

– Australian Wildlife Conservancy, Planwest (WA) Pty Ltd

COMMENT

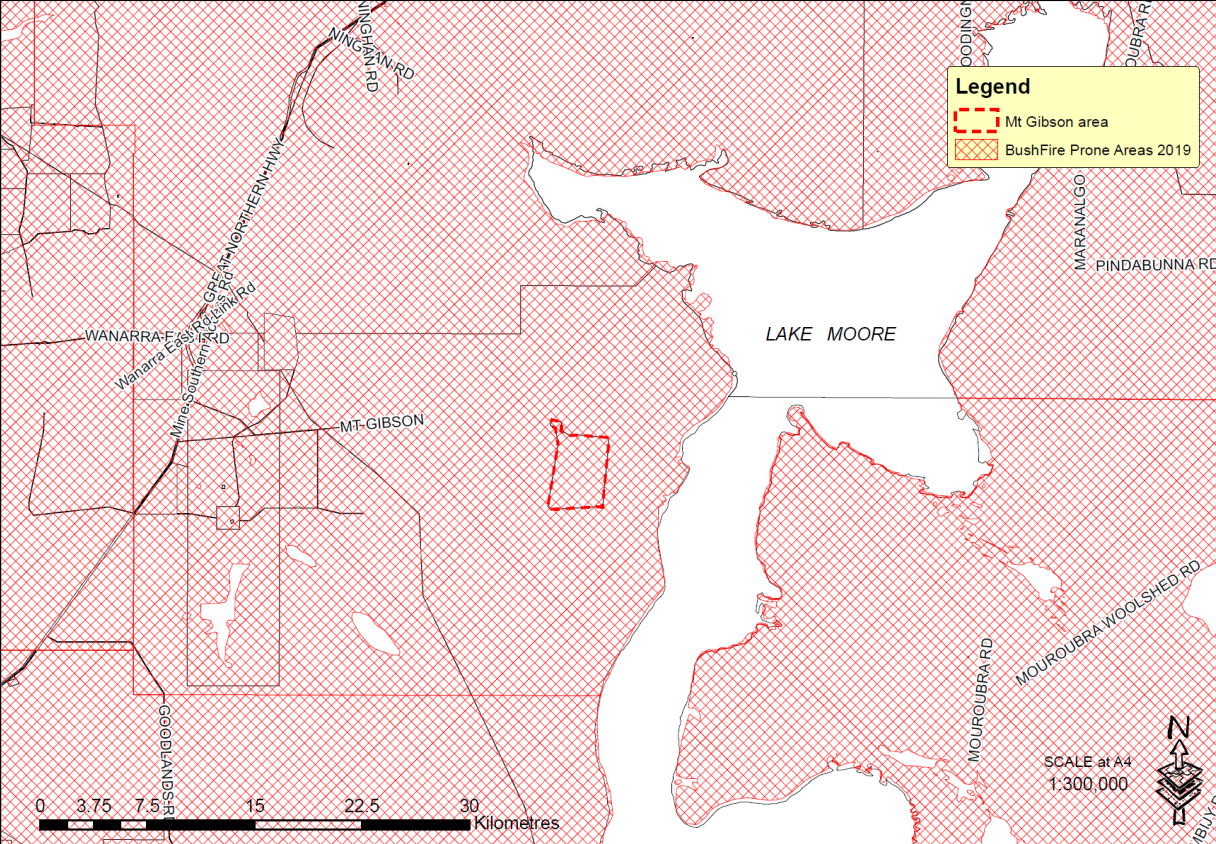
The Mt Gibson Sanctuary area does not appear to be accessible to the public and the proposed residence would not be visible from the public road system.

The site is included in the State's Bushfire Prone mapping area as shown in **Figure 5**.

As part of the DA application a Bushfire Attack Level (BAL) Assessment Report (AS 3959) has been prepared by an accredited bushfire practitioner. The report concludes that the surrounding vegetation is a low threat and would not support a running fire. The report states that all vegetation within 150m of the proposed site was classified as either Class B – Woodland B-05 with trees 10-15 metres tall with minimal undergrowth, or Class C Shrubland – Open heath C-11 with shrubs less than 1m.

The report establishes that the FDI (Fire Danger Index) is FDI 80 and a Bushfire Attack Level of BAL - 19. Attached is a copy of the Certificate of Title that confirms that the land is the subject of a Pastoral Lease in favour of the Australian Wildlife Conservancy (**Attachment B**). The details of the lease are extensive and subject to several exclusions, however, without additional legal interpretation, it must be assumed that these are standard provisions attached to a Pastoral Lease.

FIGURES - DO NOT REPRODUCE



Source: DPLH, DFES, Planwest

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION

DEVELOPMENT APPROVAL APPLICATION – MT GIBSON SANCTUARY DA (Lot 4253)

That Council approves the Development Approval application dated 24 May 2021, subject to the following conditions.

- 1. The new dwelling to be constructed to a Bushfire Attack Level BAL-19 standard.**
- 2. All drainage and effluent disposal to be built to the satisfaction of the Local Government.**

Moved:

Seconded:

Motion put and carried:

11.2.2 DEVELOPMENT APPROVAL APPLICATION – BATTERY ROAD DWELLING DA (LOT 4235)

Author:	Paul Bashall, PLANWEST (WA) Pty Ltd -
Interest Declared:	No interest to disclose
Date:	28 May 2021
Attachments	Copy of DA

MATTER FOR CONSIDERATION

That Council determine a Development Approval (DA) application for a new dwelling on Lot 4235 Battery Road/Great Northern Highway, Paynes Find.

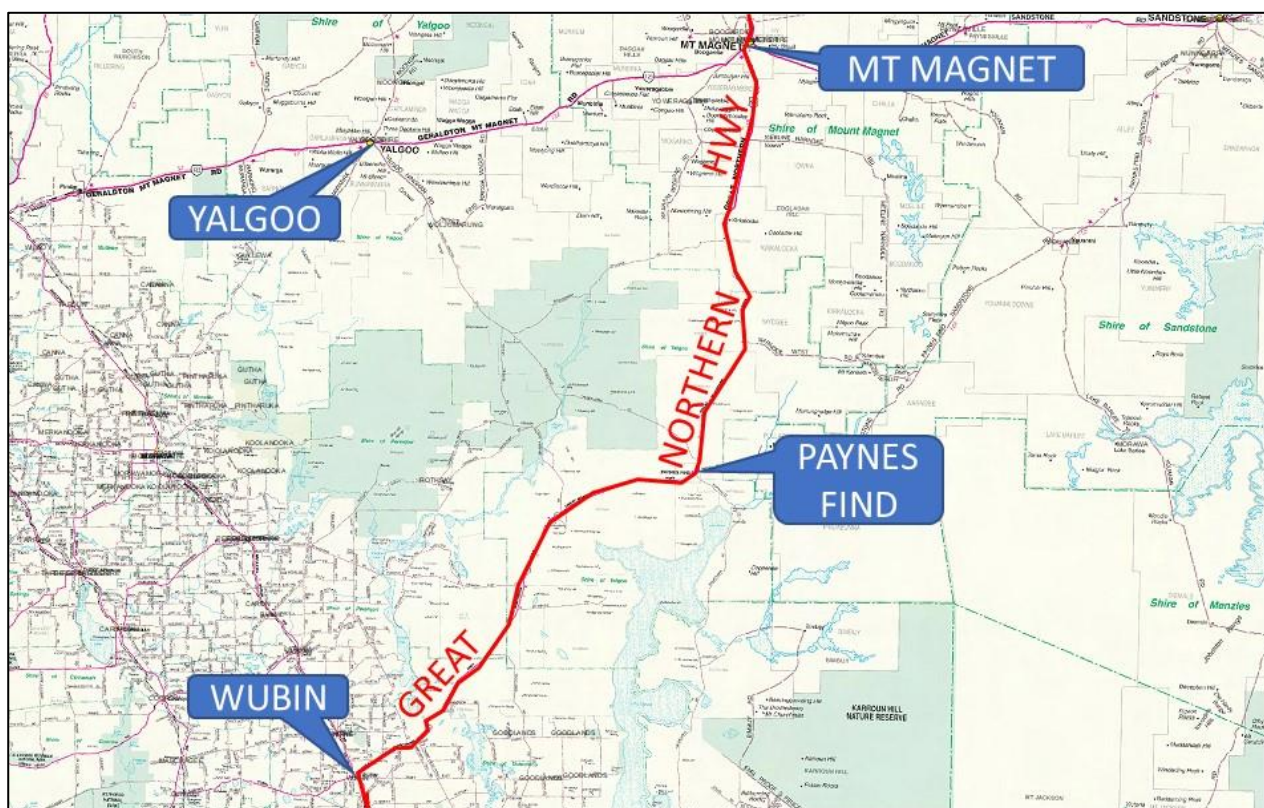
BACKGROUND

The land on which the proposed dwelling is proposed is located about 1 kilometre north of the Paynes Find roadhouse. The lot (Lot 4235) is land-locked without a legal road frontage and is reserved in the Council's Local Planning Scheme No 2 (the Scheme) for 'Recreation'.

The DA has been lodged by Gold Corporation T/A the Perth Mint. **Attachment A** contains a copy of a letter authorising the application.

The subject land is located 424 kilometres from Perth, 154 from Yalgoo, 154 from Wubin and 142 from Mt Magnet. **Figure 1** shows the location in respect to the wider region.

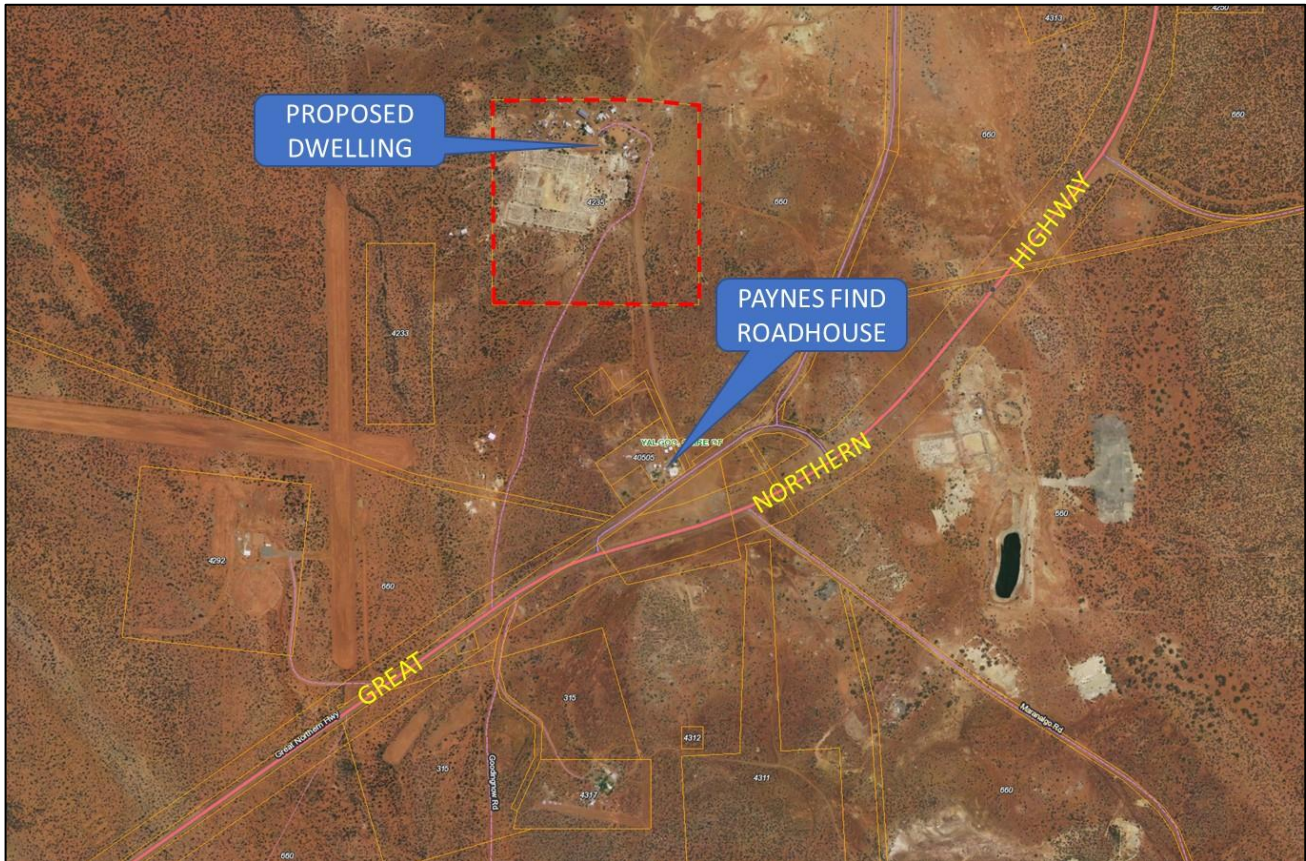
FIGURE 1 – LOCATION PLAN



Source: Landgate, Planwest

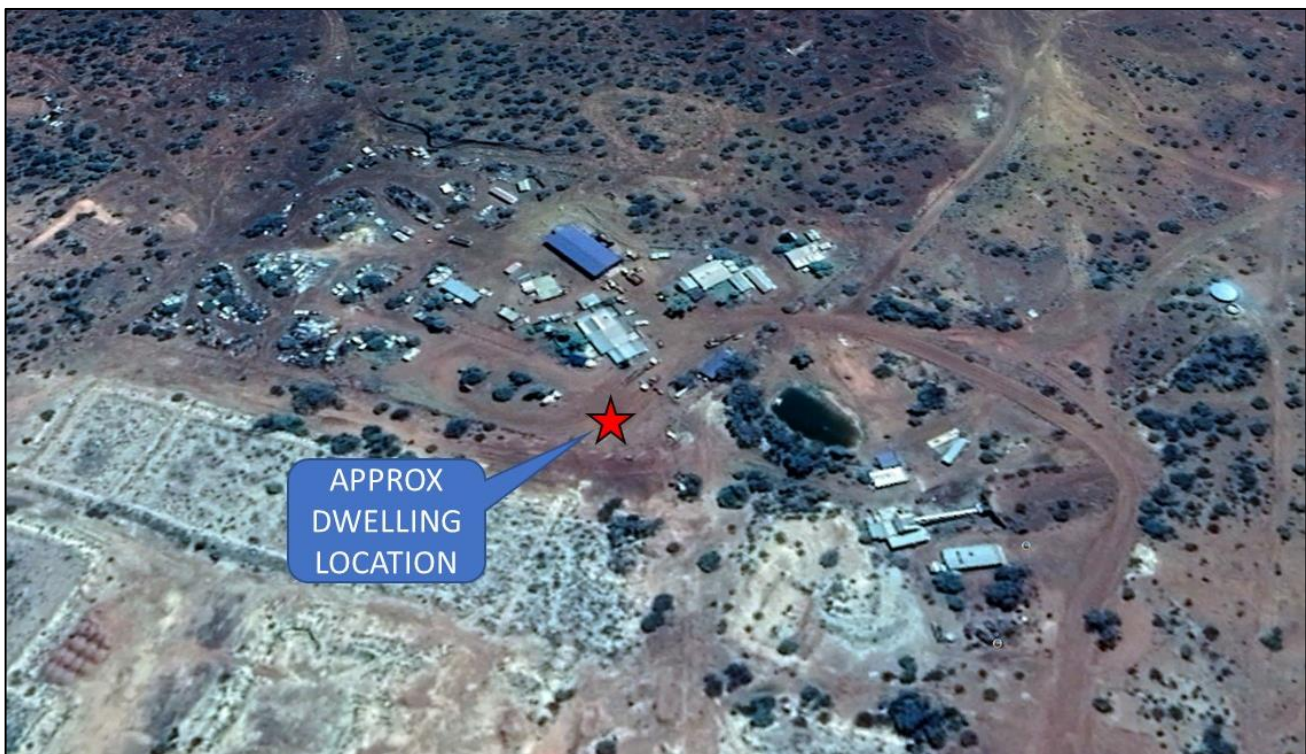
Figure 2 provides an aerial photograph of the immediate surrounding area. **Figure 3** is a photograph from the Google Maps showing the Paynes Find Gold Battery area around the proposed dwelling.

FIGURE 2 – PHOTOGRAPH OF IMMEDIATE AREA



Source: Landgate, Planwest

FIGURE 3 – OBLIQUE ENLARGEMENT OF PAYNES FIND GOLD BATTERY AREA



Source: Google Earth 2018, Planwest

Access to the site appears to be via an extension to Battery Road from the roadhouse, or via the roadway marked purple in **Figure 2** to the west of the site. Neither of these access points alter the intersections to the Great Northern Highway.

As the facility does not have direct access to Great Northern Highway, there is no need to refer the application to Main Roads WA.

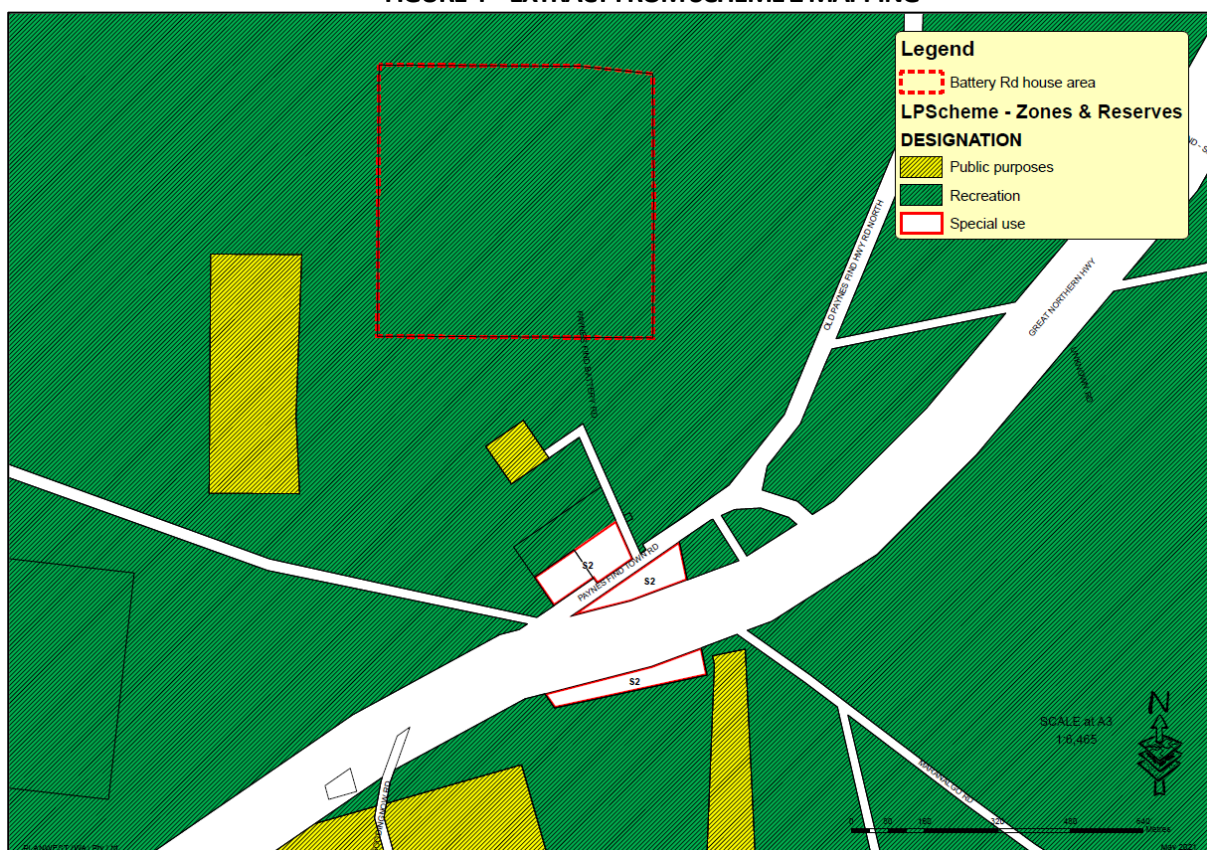
STATUTORY ENVIRONMENT

Local Planning Scheme No 2 (the Scheme) was gazetted on 5th October 2011.

The Deemed Provisions of the Planning and Development (Local Planning Schemes) Regulations 2015 exempt single dwellings from requiring a DA if the dwelling complies with the R codes (Residential Design Codes) and the dwelling is on land where a dwelling is permitted.

In this case the proposed dwelling is on land reserved in the Scheme for 'Recreation' and is also within the Bushfire Prone mapping area, as such the exemption does not apply.

FIGURE 4 – EXTRACT FROM SCHEME 2 MAPPING



Source: DPLH, Planwest

Clause 3.4 of the Scheme provides for the process for development on land designated as a local scheme reserves and is as follows.

3.4 Use and development of Local Reserves

3.4.1 A person must not —

- a) use a Local Reserve; or
- b) commence or carry out development on a Local Reserve, without first having obtained planning approval under Part 9 of the Scheme.

3.4.2 *In determining an application for planning approval the local government is to have due regard to —*

- a) the matters set out in clause 10.2; and*
- b) the ultimate purpose intended for the Reserve.*

3.4.3 *In the case of land reserved for the purposes of a public authority, the local government is to consult with that authority before determining an application for planning approval.*

The Scheme does not prohibit the Council from determining a DA simply because of the 'Recreation' designation, however the Scheme should be amended in the next review to correct this anomaly. Perhaps a more appropriate designation for the site may be 'Rural/mining'.

The Scheme clearly outlines the process in clauses 3.4.2 (as shown above) for the Council to determine this DA.

STRATEGIC IMPLICATIONS

The Council prepared a Local Planning Strategy in 2010 that was endorsed by the WA Planning Commission in March 2011.

The Community Strategic Plan is an important document that details the aspirations and future projects of the Shire of Yalgoo, as determined by the Council. The document is used to assist preparation of future budgets and support grant applications.

The Strategy focusses on Yalgoo Townsite and has no specific recommendations that impact the current DA at Paynes Find.

CONSULTATION

DPLH, Planwest (WA) Pty Ltd

COMMENT

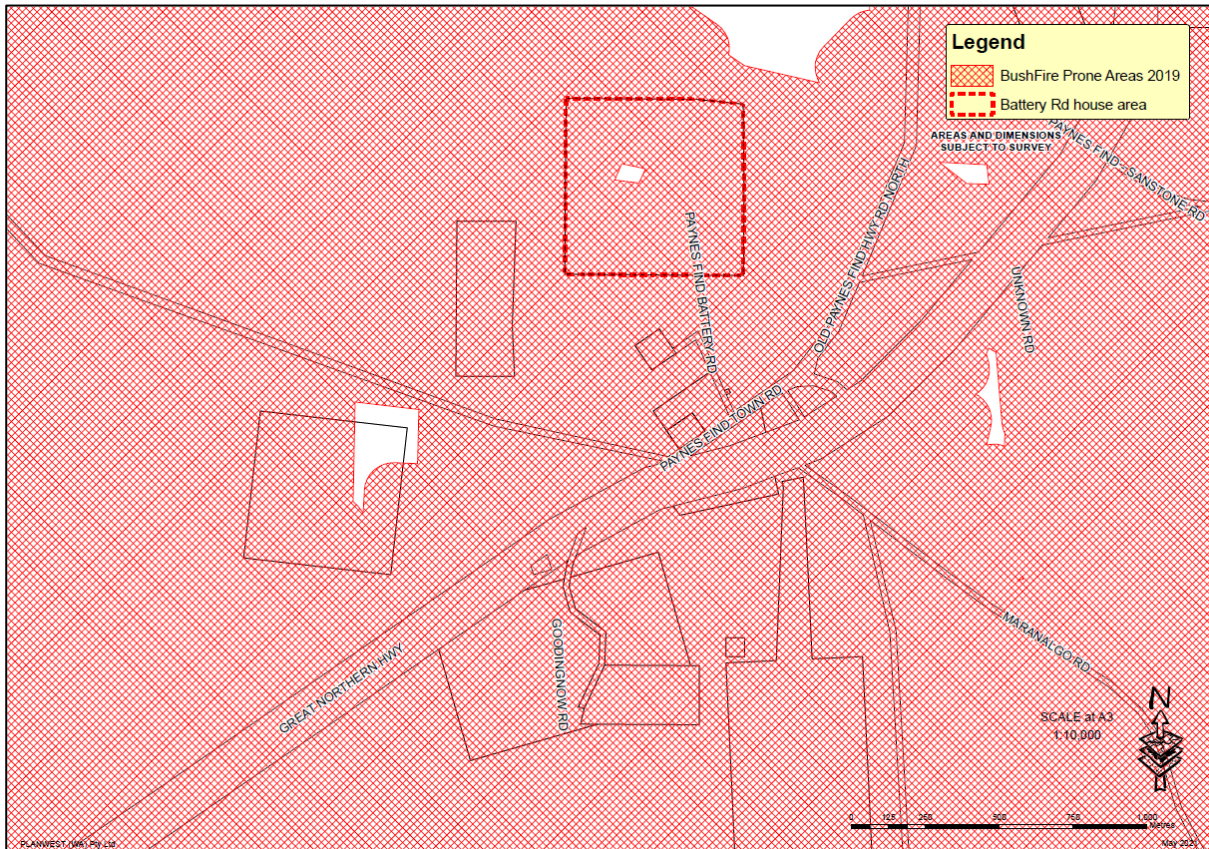
The Paynes Find Gold Battery area is not accessible to the public and the proposed dwelling would not be visible from the public road system.

The site is included in the State's Bushfire Prone mapping area as shown in **Figure 5**.

As part of the DA application a Bushfire Attack Level (BAL) Assessment Report (AS 3959) has been prepared by an accredited bushfire practitioner. The report concludes that the surrounding vegetation is low threat and would not support a running fire. The report recommends that the dwelling be constructed to a minimum of BAL-12.5 standard to improve the protection for occupants and the building's survivability.

The property (Reserve 15209) is classified as a 'Reserve under Management Order' with the primary interest holder as the Western Australian Mint. The management order provides for the purpose of mineral processing with the power to lease. The letter from The Perth Mint (**Attachment A**) confirms that it considers the caretakers accommodation to be relevant to the reserve purpose of mineral processing.

FIGURE 5 – BUSHFIRE PRONE MAPPING



Source: DPLH, DFES, Planwest

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION

DEVELOPMENT APPROVAL APPLICATION – BATTERY ROAD DWELLING DA (Lot 4235)

That Council approves the Development Approval application dated 20 May 2021, subject to the following conditions.

1. The new dwelling to be constructed to a Bushfire Attack Level-12.5 standard.
2. All drainage and effluent is to be to the satisfaction of the Local Government.

Moved:

Seconded:

Motion put and carried:

11.3 FINANCE

11.3.1 ACCOUNTS FOR PAYMENT MAY 2021

Author:	Dominic Carbone
Interest Declared:	No interest to disclose
Date:	14 June 2021
Attachments	NIL

MATTER FOR CONSIDERATION

Council approve the Accounts for Payment list for the period 1 May 2021 to 31 May 2021 as detailed in the report below.

BACKGROUND

The Local Government Act 1995 and the Local Government (Financial Management) Regulations 1996 requires the Chief Executive Officer to present a list of accounts paid and/or payable to Council and such to be recorded in the minutes of the meeting.

STATUTORY ENVIRONMENT

Local Government Act 1995

6.10 Financial Management regulations

Regulations may provide for –

- a. The security and banking of money received by a local government’ and
- b. The keeping of financial records by a local government; and
- c. The management by a local government of its assets, liabilities and revenue; and
- d. The general management of, and the authorisation of payments out of –
 - I. The municipal fund; and
 - II. The trust fund, of a local government.

Local Government (Financial Management) Regulations 1996

13. Payments from municipal fund or trust fund by CEO, CEO’s duties as to etc.
 1. If the local government has delegated to the CEO the exercise of its power to make payments from the municipal fund or the trust fund, a list of accounts paid by the CEO is to be prepared each month showing for each account paid since the last such list was prepared –
 - I. The payee’s name; and
 - II. The amount of the payment; and
 - III. The date of the payment; and
 - IV. Sufficient information to identify the transaction.
 2. A list of accounts for approval to be paid is to be prepared each month showing –
 - a. For each account which requires council authorisation in that month –
 - I. The payee’s name; and
 - II. The amount of the payment; and
 - III. Sufficient information to identify the transaction; and

- b. The date of the meeting of the council to which the list is to be presented.
- 3. A list prepared under subregulation (1) or (2) is to be –
 - a. Presented to the council at the next ordinary meeting of the council after the list is prepared; and
 - b. Recorded in the minutes of that meeting.

STRATEGIC IMPLICATIONS

NIL

FINANCIAL IMPLICATIONS

NIL

CONSULTATION

NIL

COMMENT

The list of accounts paid for the period 1 May 2021 to 31 May 2021 are as follows:

SHIRE OF YALGOO
LIST OF ACCOUNTS PAID AND PAYABLE
FOR THE PERIOD 1 MAY 2021 TO 31 MAY 2021

	DATE	PAYEE	PARTICULARS	AMOUNT
	PAID			\$
1	5/05/2021	BATAVIA COAST	SUPPLY AND INSTALL SHADE SAILS WATER PARK	14,135.00
2	5/05/2021	BATTERY MART	BATTERY YA453 AND GENSET	422.40
3	5/05/2021	BOC LIMITED	CONTAINER SERVICE DEPOT	120.44
4	5/05/2021	BOQ ASSET FINANCE & LEASING PTY LTD	RENTAL PHOTOCOPIER	329.50
5	5/05/2021	BP MECHANICAL MAINTENANCE	SERVICE AND REPAIRS YA453,YA807,YA853, GEN SET,	2,475.00
6	5/05/2021	BRIDGED GROUP PTY LTD	COMPUTER SUPPORT MONTHLT FIREWALL AGREEMENT	346.50
7	5/05/2021	BRIERTY ALAN	REIMBURSEMENT SPINIFEX BASKET	400.00
8	5/05/2021	BUNNINGS	RETICULATION FITTINGS	252.15
9	5/05/2021	CANINE CONTROL	CONTRACT RANGER APRIL 2021	1,143.45
10	5/05/2021	CIVIC LEGAL	LEGAL FEES - NATIVE TITLE MATTER,TRANSFER OF LAND,REVIEW OF ROAD USE AGREEMENT AND AUSTRALIAN GEM RESOURCES CLAIM	13,343.94
11	5/05/2021	CLEANPAK SOLUTIONS	CHEMICALS AND HAND TOWELS	203.56
12	5/05/2021	DATAKOM SOLUTIONS PTY LTD	ANNUAL LICENCE FEE,DATA EXTRACTION AND PAYROLL SERVICES	59,558.40
13	5/05/2021	DFES	ESL QUARTERLY PAYMENT	6,942.60
14	5/05/2021	DOMINIC CARBONE AND ASSOCIATES	CONSULTANCY FEES FINANCE AND ADMIN	6,930.00
15	5/05/2021	FIVE STAR BUSINESS EQUIPMENT & COMMS	SERVICE PHOTOCOPIER	685.32
16	5/05/2021	GERALDTON CAR WASH	DETAIL YA800	150.00
17	5/05/2021	GERALDTON TOYOTA	SERVICE YA1000	449.92
18	5/05/2021	GRANTS EMPIRE	CONSULTANCY FEE -GRANT APPLICATION YALGOO HALL	396.00
19	5/05/2021	HALLINAN REFRIGRATION AND AIRCONDITIONING	SERVICE AIRCONDITIONERS AND REPAIR GLASS DOOR TO CARAVAN PARK FREEZER	6,709.08
20	5/05/2021	HODDER TAMISHA	COUNCIL MEETING FEES AND ALLOWANCES APRIL 2021	527.67
21	5/05/2021	HOLLAND CRAIG	REIMBURSEMENT -BRAKE FLUID,ROPE,6 TARPAULINS	292.01
22	5/05/2021	INFINITY SKATE	SKATEBOARDING WORKSHOP	975.00
23	5/05/2021	JACKSON DRAWING SUPPLIES PTY LTD	PAINTS ART CENTRE	473.00

SHIRE OF YALGOO
LIST OF ACCOUNTS PAID AND PAYABLE
FOR THE PERIOD 1 MAY 2021 TO 31 MAY 2021

	DATE	PAYEE	PARTICULARS	AMOUNT
	PAID			\$
24	5/05/2021	K9 K10 ELECTRICAL WA	SECURITY MONITORING FEE - ADMIN BUILDING	168.76
25	5/05/2021	KEEN BROTHERS (GERALDTON)	DRIVER TRAINING - T FIELD	2,400.00
26	5/05/2021	LANDGATE	VALUATION FEES - MINING TENEMENTS	40.60
27	5/05/2021	LAWSON PERCY	COUNCIL MEETING FEES AND ALLOWANCES APRIL 2021	819.34
28	5/05/2021	LG PEOPLE /CULTURE	CONSULTATION FEES - STRATIGIC COMMUNITY PLAN	6,820.00
29	5/05/2021	LUSCOMBE SYNDICATE	CARAVAN PARK SUPPLIES	340.75
30	5/05/2021	MCDONALDS WHOLESALERS	CARAVAN PARK SUPPLIES	148.25
31	5/05/2021	MIDWEST LOCK AND SAFE	REPLACE LOCKS RAILWAY STATION AND CARAVAN PARK	1,117.00
32	5/05/2021	MIDWEAT PEST MANAGEMENT	PEST CONTROL CARAVAN PARK	385.00
33	5/05/2021	MOOREVIEW PLANTS AND TREES	PLANTS NURSING POST,COMMUNITY PARK	368.41
34	5/05/2021	MORRISSEY MICHAEL	HIRE BOND REFUND	1,000.00
35	5/05/2021	MURCHISON CLUB HOTEL	ACCOMMODATION AND MEALS COUNCILLORS AND CEO	429.00
36	5/05/2021	MURCHISON GAS AND PLUMBING	EMERGENCY REPAIRS CARAVAN PARK	1,020.25
37	5/05/2021	PARSONS GRANT	EMPLOYMENT MEDICAL	120.00
38	5/05/2021	PAYNE GREGORY ARTHUR	COUNCIL MEETING FEES AND ALLOWANCESAPRIL 2021	1,920.47
39	5/05/2021	PAYNESFIND ROAD HOUSE AND TAVERN	ACCOMMODATION AND MEALS RAY WINFIELD	226.00
40	5/05/2021	POOL AND SPA MART	LIQUID CHLORINE WATER PARK	47.20
41	5/05/2021	QUICK CORPORATE SOLUTIONS	CLEANING SUPPLIES ADMIN	527.67
42	5/05/2021	READ DENISE	FELTING WORKSHOP	1,550.00
43	5/05/2021	REFUEL AUSTRALIA	FUEL SUPPLIES MARCH 2021	18,412.34
44	5/05/2021	ROWE CONTRACTORS	ROAD WIDENING YALGOO/MORAWA	230,992.92
45	5/05/2021	SAGE HOTEL WEST PERTH	ACCOMMODATION AND MEALS STAFF TRAINING	1,350.50
46	5/05/2021	SECURITY AND KEYS	KEYS 19A STANLEY STREET	104.32
47	5/05/2021	ST JOHN AMBULANCE WA LTD	CARAVAN PARK DEFIB PADS	191.00
48	5/05/2021	THE FELTING POT	FELTING WORKSHOP	2,660.00
49	5/05/2021	TOLL TRANSPORT	FREIGHT	228.72

SHIRE OF YALGOO
LIST OF ACCOUNTS PAID AND PAYABLE
FOR THE PERIOD 1 MAY 2021 TO 31 MAY 2021

	DATE	PAYEE	PARTICULARS	AMOUNT
	PAID			\$
50	5/05/2021	TRENFIELD GAIL	COUNCIL MEETING FEES AND ALLOWANCES APRIL 2021	777.67
51	5/05/2021	VEOLIA ENVIRONMENTAL SERVICES	RUBBISH COLLECTION SERVICE	4,089.14
52	5/05/2021	WALGA	STAFF TRAINING RATES AND DEBT COLLECTION	578.00
53	5/05/2021	WESTERN INDEPENDENT FOODS	CARAVAN PARK SUPPLIES	425.81
54	5/05/2021	WESTRAC EQUIPMENT PTY LTD	PARTS AND BLADES	8,770.90
55	5/05/2021	WHEATBELT CHRISTIAN FELLOWSHIP	DONATION	1,000.00
56	5/05/2021	WILLOUGHBY CONSTRUCTIONS	PROGRESS CLAIM CHALET CONSTRUCTION AND MEASUREMENT AND SKETCH PLAN YALGOO HALL	56,800.70
57	5/05/2021	WINC	CARAVAN PARK PAPER TOWELS AND INK	411.19
58	5/05/2021	WURTH	WORKSHOP SUPPLIES	829.96
59	24/05/2021	BEAUREPAIRES	PUCHASE TYRES	3,281.91
60	24/05/2021	BOQ ASSET FINANCE & LEASING PTY LTD	RENTAL PHOTOCOPIER	329.50
61	24/05/2021	BRIDGED GROUP PTY LTD	COMPUTER SUPPORT MONTHLT FIREWALL AGREEMENT	346.50
62	24/05/2021	BRIERTY ALAN	REIMBURSEMENT SPINIFEX BASKET	400.00
63	24/05/2021	BUNNINGS	GAS BOTTLES REFILLS,CONSUMABLES	356.68
64	24/05/2021	CANINE CONTROL	CONTRACT RANGER APRIL 2021	3,430.35
65	24/05/2021	CIVIC LEGAL	LEGAL FEES - REVIEW OF ROAD USE AGREEMENT	6,623.76
66	24/05/2021	DANTHONIA DESIGNS	CONSULTANCY - PAYNES FIND ENTRY STATEMENT AND DISPLAY BOARD	1,681.41
67	24/05/2021	DATAKOM SOLUTIONS PTY LTD	PAYROLL SERVICES	272.80
68	24/05/2021	GERALDTON AG SERVICE	PARTS - 2 PG450 ELECTRIC	1,471.56
69	24/05/2021	HOLLAND CRAIG	REIMBURSEMENT - REPAIRS WATER LEAK RAILWAY STATION	149.55
70	24/05/2021	INCITE SECURITY	SECURITY MONITORING FEE - DEPOT	147.00
71	24/05/2021	JACKSON DRAWING SUPPLIES PTY LTD	PAINTS ART CENTRE	882.65
72	24/05/2021	JURY AK & JD	PLANT HIRE AND LABOUR YALGOO/MORAWA AND YALGOO/NINGHAN	18,700.00
73	24/05/2021	MARKETFORCE	ADVERTISING FOR CDO AND PLANT OPERATOR	535.87
74	24/05/2021	MIDWEST LOCK AND SAFE	REPLACE LOCKS RAILWAY STATION AND CARAVAN PARK	913.00

SHIRE OF YALGOO
LIST OF ACCOUNTS PAID AND PAYABLE
FOR THE PERIOD 1 MAY 2021 TO 31 MAY 2021

	DATE	PAYEE	PARTICULARS	AMOUNT
	PAID			\$
75	24/05/2021	PACIFIC BIOLOGICS PTY LTD	PARTS	769.96
76	24/05/2021	PAYNESFIND ROAD HOUSE AND TAVERN	COUNCIL MEETING LUNCH	286.40
77	24/05/2021	PROMPT SAFETY SOLUTIONS	TRAFFIC MANAGEMENT	2,200.00
78	24/05/2021	REFUEL AUSTRALIA	LIPLEX GREASE	876.58
79	24/05/2021	ROCKE DAVID	MAINTENANCE WORK PAYNES FIND COMMUNITY CENTRE AND AIRSTRIP	804.84
80	24/05/2021	ST JOHN AMBULANCE GERALDTON SUB CENTRE	DEFIB AND PAEDIATRIC PADS	191.00
81	24/05/2021	SUN CITY PRINT	STATIONERY - RECEIPT BOOKS CARAVAN PARK	345.00
82	24/05/2021	WESTRAC EQUIPMENT PTY LTD	PARTS AND BLADES	314.89
83	24/05/2021	WINC AUSTRALIA PTY LTD	STATIONERY - FINANCIAL YEAR PLANNER AND DIARIES	185.85
84	24/05/2021	WURTH	WORKSHOP SUPPLIES	510.20
			TOTAL	510,340.07

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION

ACCOUNTS FOR PAYMENT MAY 2021

That Council approve the list of accounts paid for the period 1 May 2021 to 31 May 2021 amounting to \$510,340.07 and the list be recorded in the minutes.

Moved:

Seconded:

Motion put and carried/lost

11.3.2 INVESTMENTS AS AT 31 MAY 2021

Author:	Dominic Carbone
Interest Declared:	No interest to disclose
Date:	14 June 2021
Attachments	NIL

MATTER FOR CONSIDERATION

That Council receive the Investment as at 31 May 2021.

BACKGROUND

Money held in the Municipal Fund of the Shire of Yalgoo that is not required for the time being may be invested under the Trustee Act 1962 Part III.

STATUTORY ENVIRONMENT*Local Government Act 1995*

6.14. Power to invest

(1) Money held in the municipal fund or the trust fund of a local government that is not, for the time being, required by the local government for any other purpose may be invested as trust funds may be invested under the *Trustees Act 1962* Part III.

(2A) A local government is to comply with the regulations when investing money referred to in subsection (1).

(2) Regulations in relation to investments by local governments may —

(a) make provision in respect of the investment of money referred to in subsection (1); and

[(b) *deleted*]

(c) prescribe circumstances in which a local government is required to invest money held by it;

and

(d) provide for the application of investment earnings; and

(e) generally provide for the management of those investments.

Local Government (Financial Management) Regulations 1996

19. Investments, control procedures for

(1) A local government is to establish and document internal control procedures to be followed by employees to ensure control over investments.

(2) The control procedures are to enable the identification of —

(a) the nature and location of all investments; and

(b) the transactions related to each investment.

19C. Investment of money, restrictions on (Act s. 6.14(2)(a))

(1) In this regulation —

authorised institution means —

(a) an authorised deposit-taking institution as defined in the *Banking Act 1959* (Commonwealth) section 5; or

(b) the Western Australian Treasury Corporation established by the *Western Australian Treasury Corporation Act 1986*;

foreign currency means a currency except the currency of Australia.

(2) When investing money under section 6.14(1), a local government may not do any of the following —

(a) deposit with an institution except an authorised institution;

(b) deposit for a fixed term of more than 12 months;

(c) invest in bonds that are not guaranteed by the Commonwealth Government, or a State or Territory government;

- (d) invest in bonds with a term to maturity of more than 3 years;
- (e) invest in a foreign currency.

STRATEGIC IMPLICATIONS

NIL

CONSULTATION

NIL

COMMENT

The Worksheet below details the investments held by the Shire as at 31 May 2021.

SHIRE OF YALGOO CASH HOLDINGS AS AT 31 May 2021								
INSTITUTIONS	SHORT TERM RATING	INVESTMENT TYPE	ACCOUNT N°	TERM	DATE OF TRANSACTION	DATE OF MATURITY	INTEREST RATE	PRINCIPAL
MUNICIPAL FUND								
Note Balance as per Bank Statement								
NAB	N/A	Operating a/c	50-832-4540	Ongoing	N/A	N/A	Variable	\$674,464.58
BENDIGO	N/A	Operating a/c	171336274	Ongoing	N/A	N/A	Variable	\$772,253.40
BENDIGO	N/A	Saving	171336282	Ongoing	N/A	N/A	Variable	\$25,071.90
NAB	N/A	Short Term Investment	24-831-4222	Ongoing	N/A	N/A	Variable	\$52,131.15
TOTAL								\$1,523,921.03

RESERVE FUNDS								
Bendigo	N/A	Term Deposit	3479107	4 months	11.05.2021	30.06.2021	0.10%	\$169,548.60
Bendigo	N/A	Term Deposit	3483811	4 months	11.05.2021	30.06.2021	0.10%	\$472,364.51
Bendigo	N/A	Term Deposit	3483825	4 months	11.05.2021	30.06.2021	0.10%	\$1,135,983.36
TOTAL								\$1,777,896.47

INVESTMENT REGISTER						
01 MAY 2021 TO 31 MAY 2021						
NATIONAL AUSTRALIA BANK						
ACCOUNT N°	DATE OF MATURITY	INTEREST RATE	OPENING BALANCE	INTEREST EARNED TO 31.05.2021	INVESTMENT TRANSFERS	CLOSING BALANCE 31.05.2021
171336282	Ongoing	Variable	\$25,051.07	\$20.83		\$25,071.90
24-831-4222	Ongoing	Variable	\$52,118.23	\$12.92	0	\$52,131.15
3567670	11.05.2021	0.30%	\$468,712.48	\$3,652.03	0	\$472,364.51
3567677	11.05.2021	0.30%	\$1,127,240.64	\$8,742.72	0	\$1,135,983.36
3567669	11.05.2021	0.30%	\$168,854.45	\$694.15	0	\$169,548.60

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION

INVESTMENTS AS AT 31 MAY 2021

That the Investment Report as at 31 May 2021 be received.

Moved:

Seconded:

Motion put and carried/lost

11.3.3 FINANCIAL ACTIVITY STATEMENT FOR THE PERIOD ENDED THE 31 MAY 2021

Author:	Dominic Carbone
Interest Declared:	No interest to disclose
Date:	14 June 2021
Attachments (yellow)	<ul style="list-style-type: none"> • Statement of Comprehensive Income ending the 31 May 2021; • Financial Activity Statement; ending 31 May 2021; • Summary of Current Assets and Current Liabilities as of 31 May 2021; • Statement of Current Financial Position as at 31 May 2021; • Detailed worksheet; • Other Supplementary Financial Reports; <ul style="list-style-type: none"> ○ Reserve Funds; ○ Loan Funds;

MATTER FOR CONSIDERATION

Adoption of the Monthly Financial Statements.

BACKGROUND

The Local Government Act and Regulations require Local Governments to prepare monthly reports containing the information that is prescribed.

STATUTORY ENVIRONMENT*Local Government Act 1995*

Section 6.4—Specifies that a local government is to prepare such other financial reports as are prescribed.

Local Government (Financial Management) Regulations 1996

Regulation 34 states:

- (1) A local government is to prepare each month a statement of financial activity reporting on the sources and applications of funds, as set out in the annual budget under regulation 22(1)(d) for that month in the following detail:
 - (a) annual budget estimates, taking into account any expenditure incurred for an additional purpose under section 6.8(1)(b) or (c);
 - (b) budget estimates to the end of month to which the statement relates;
 - (c) actual amounts of expenditure, revenue and income to the end of the month to which the statement relates;
 - (d) material variances between the comparable amounts referred to in paragraphs (b) and (c);
 - (e) the net current assets at the end of the month to which the statement relates.

Sub regulations 2, 3, 4, 5, and 6 prescribe further details of information to be included in the monthly statement of financial activity.

STRATEGIC IMPLICATIONS

Provision of timely accounting information to inform Council of the financial status and financial affairs of the local government.

Reports showing year to date financial performance allow monitoring of actual expenditure, revenue, and overall results against budget targets.

POLICY IMPLICATIONS

2.4 Material Variance

FINANCIAL IMPLICATIONS

The Financial Activity Statements reflect the financial situation of the Shire as at year to date.

CONSULTATION

NIL

COMMENT

The Shire prepares the monthly financial statements in the statutory format along with the other supplementary financial reports comprising of:

- Statement of Comprehensive Income;
- Statement of Financial Position;
- Reserve Funds;
- Loan Funds;

The areas where material variances have been experienced (10% or \$10,000 above or below budget) are commented on in the material variance column.

VOTING REQUIREMENTS

Simple Majority

OFFICER RECOMMENDATION

R34 (1) FINANCIAL ACTIVITY STATEMENT FOR THE PERIOD ENDED THE 31 MAY 2021.

That Council:

Adopts the Financial Activity Statement for the period ended 31 May 2021

Moved:

Seconded:

Motion put and carried/lost

11.4 ADMINISTRATION

11.4.1 CEO request for leave and Acting CEO Policy

Author:	Ian Holland, Chief Executive Officer
Interest Declared:	No interest to disclose
Date:	15 June 2021
Attachments	Nil

MATTER FOR CONSIDERATION

That Council determine a period of leave for the Chief Executive Officer and adopt a policy for Acting CEOs as required by the Local Government Act 1995.

BACKGROUND

The CEO is seeking leave from the 31st July through to the 8th August 2021 being 5 days annual leave. For the short amount of time it is not considered appropriate to appoint an Acting CEO. The CEO will not be immediately contactable during this time.

A simple policy for the consideration of an acting CEO is also provided for consideration.

STATUTORY ENVIRONMENT - Local Government Act 1995

5.39C. Policy for temporary employment or appointment of CEO

(1) A local government must prepare and adopt* a policy that sets out the process to be followed by the local government in relation to the following —

(a) the employment of a person in the position of CEO for a term not exceeding 1 year;

(b) the appointment of an employee to act in the position of CEO for a term not exceeding 1 year. * Absolute majority required.

(2) A local government may amend* the policy. * Absolute majority required.

(3) When preparing the policy or an amendment to the policy, the local government must comply with any prescribed requirements relating to the form or content of a policy under this section.

(4) The CEO must publish an up-to-date version of the policy on the local government's official website.

STRATEGIC IMPLICATIONS

CONSULTATION

The Shires financial consultant Mr Dominic Carbone who has performed the duties of Acting CEO for the Shire in the past will endeavour to be present during this leave to provide assistance to staff.

COMMENT

The appointment of an Acting CEO cannot be delegated by Council, however if Council have already identified the remuneration and that an individual is suitably qualified to Act in the Position of Chief Executive Officer then the date and specifics can be left to the CEO to organise through a policy such as the following.

PURPOSE

To provide for the appointment of one of the Shire's Employees or other Suitable Individuals as Acting Chief Executive Officer during limited absences of the Chief Executive Officer. Under Section 5.36 of the Local Government Act 1995 a local government is to employ a person to be the Chief Executive Officer of the local government along with other persons as the council believes are necessary to enable the functions of the local government and council to be performed.

POLICY SCOPE

1. Council has determined that individuals holding the following positions within the Shire of Yalgoo and the individuals nominated within this policy are considered to be suitably qualified to act in the position of Chief Executive Officer.

Deputy Chief Executive Officer or Individuals Nominated by Council Resolution in accordance with Section 5.36 (Including a review and/or expiry date)

2. Employees or individuals nominated by Council under this policy will be appointed to the role of Acting Chief Executive Officer at the discretion of the Chief Executive Officer, subject to performance.

3. Appointment to the role of Acting Chief Executive Officer shall be made in writing for a defined period that is longer than 5 ordinary working days and does not exceed 6 weeks. A Council resolution is required for periods exceeding 6 weeks and cannot be for a term exceeding 1 year.

4. The Remuneration/Contract for the position of Acting Chief Executive Officer is to be determined by Council for Nominated Individuals and ninety percent (90%) of the CEO cash component for the employee positions listed in this policy.

5. If the CEO is unavailable or the policy is unable to be followed the Shire President will be required to call a special meeting to determine an appropriate outcome.

VOTING REQUIREMENTS – Absolute Majority**OFFICER RECOMMENDATION****Local Government Convention and WALGA AGM****That Council:**

1. approve the as presented Acting CEO Policy for inclusion in the policy manual; and
2. approve the Chief Executive Officers Annual Leave from the 31st July to the 8th August 2021 being 5 ordinary days.

Moved:**Seconded:****Motion put and carried:**

11.4.2 Local Government Convention and WALGA AGM

Author:	Ian Holland, Chief Executive Officer
Interest Declared:	No interest to disclose
Date:	14 June 2021
Attachments	LGC21 Registration and Information Brochure

MATTER FOR CONSIDERATION

That Council determine their attendance at the 2021 WA Local Government Convention and WALGA AGM.

BACKGROUND

The WALGA AGM and Convention is scheduled to be held this year on Monday the 20th and Tuesday the 21st of September at Crown Perth. Council is requested to determine attendance of the convention and appoint 2 voting delegates and 2 proxy delegates for the AGM.

STATUTORY ENVIRONMENT - Local Government Act 1995

STRATEGIC IMPLICATIONS

Determining attendance now will allow for appropriate budgeting for the 2021/22 Financial Year.

CONSULTATION**COMMENT**

Council policy 3.2C – Attendance at Events Policy states the approved attendance of the President, Deputy President, 2 Elected Members and the CEO. This can be amended by simple majority otherwise preference should be extended to Councillors who are or are likely to continue their term past the October Ordinary Elections.

Brochure and registration information is attached. Appointment of Voting delegates is required before the 27th August 2021. The convention will likely require travel and accommodation on Sunday with a return to Yalgoo on Wednesday.

The Notice of AGM has also been attached. Key dates are as follows:

- Friday, 2 July – Deadline to submit motions proposing amendments to WALGA's constitution
- Friday, 16 July – Deadline to submit motions for the AGM Agenda
- Friday, 27 August – Registration of voting delegates closes
- Monday, 20 September – Annual General Meeting, Crown Perth

VOTING REQUIREMENTS - Simple Majority

OFFICER RECOMMENDATION**Local Government Convention and WALGA AGM**

That Council appoints the following delegates for the WALGA AGM and determines attendance of the WALGA Local Government Convention being the delegates and any others listed.

Voting Delegate 1: _____ **Voting Delegate 1:** _____

Proxy Delegate 1: _____ **Proxy Delegate 1:** _____

Moved: _____ **Seconded:** _____ **Motion put and carried:** _____

11.4.3 Local Government Election

Author:	Ian Holland, Chief Executive Officer
Interest Declared:	No interest to disclose
Date:	11 June 2021
Attachments	Quote Letter

MATTER FOR CONSIDERATION

That Council determine the manner in which the October 2021 Ordinary Local Government Election will occur.

BACKGROUND

At the May meeting Council were asked to determine the manner in which the 2021 election would occur and to give serious consideration to conducting a postal election. Council at the time declined to conduct an in person election in order to obtain a quote from the Western Australian Electoral Commission (WAEC) for further consideration of a postal election due to covid-19 and staffing concerns.

STATUTORY ENVIRONMENT - Local Government Act 1995

STRATEGIC IMPLICATIONS

CONSULTATION

COMMENT

A response to the WAEC is required prior to the 28th July. The WAEC would look to employ an individual from the area, if possible, as the returning officer. The Shire can also adequately budget for the provided quote with a contingency.

A representative of the WAEC visited Yalgoo on Friday the 11th June on a return trip to Perth. Nominations with the chosen returning officer would be by appointment and the Shire of Yalgoo office would act as a polling place on election day to receive votes and respond to spoilt votes etc.

In resolving this recommendation an indicative figure of \$15,000 will be included in the 2021/22 Draft Budget under election expenses. The cost provided is indicative and the WAEC shares most costs per capita across all Local Governments after key immediate costs are taken into account.

VOTING REQUIREMENTS - Absolute Majority

OFFICER RECOMMENDATION

Local Government Election

That Council:

1. declare, in accordance with section 4.20(4) of the Local Government Act 1995, the Electoral Commissioner to be responsible for the conduct of the 2021 ordinary elections together with any other elections or polls which may be required.
2. decide, in accordance with section 4.61(2) of the Local Government Act 1995 that the method of conducting the election will be as a postal election.

Moved:

Seconded:

Motion put and carried:

11.4.4 DBCA Road Action Request

Author:	Ian Holland, Chief Executive Officer
Interest Declared:	No interest to disclose
Date:	11 June 2021
Attachments	Mapping Attachment 1

MATTER FOR CONSIDERATION

That Council consider the requests from the Department of Biodiversity, Conservation and Attractions (DBCA) with respect to roads within the proposed Thundelarra Conservation Park.

BACKGROUND

Earlier this year Council supported handing over part of the Burnerbinmah-Nalbarra Road Reserve and the associated road section to DBCA for incorporation into their proposed Thundelarra Conservation Park. Further correspondence has been received from DBCA and their requests are outlined below.

STATUTORY ENVIRONMENT - Local Government Act 1995

STRATEGIC IMPLICATIONS

CONSULTATION - DBCA

COMMENT

1. Cancellation of a portion of Burnerbinmah-Nalbarra Road

A significant length of Burnerbinmah-Nalbarra Road dissects the 'Barnabinmah' Conservation Park (Reserve No. 53838), and the adjoining proposed 'Thundelarra' Conservation Park. DBCA considers that management of the conservation areas would benefit from non-provisional DBCA access to and oversight of the sections of Burnerbinmah-Nalbarra Road that exist within the parks. In 2020, the Shire of Yalgoo provided no objection to the proposed closure of the section of Burnerbinmah-Nalbarra Road reserve within 'Barnabinmah' Conservation Park (Attachment 2). DBCA now seeks additional Shire consent to close the connecting section of the Burnerbinmah-Nalbarra Road reserve extending into the proposed 'Thundelarra' Conservation Park, and for the area to be managed by DBCA. *Please note that it is the closure of the road reserve being proposed, not the road. The road will continue to be managed to provide for public access.*

Removal of this section from the network is likely cost neutral as DBCA may require Shire support to maintain the road. Administration will liaise with DBCA to determine an appropriate contact for DBCA that can be provided on signage at the entry to Paynes Find – Thundelarra Road and determine if DBCA has any intention to provide road status information for Burnerbinmah-Nalbarra Road. The remainder of the Road falls within UCL which at this stage does not form part of the Conservation Park.

2. Cancellation of unconstructed road reserves

Four unconstructed road reserves (with no underlying roads) intersect the proposed 'Thundelarra' Conservation Park area. DBCA proposes that the sections of unconstructed road reserve that occur within the proposed park boundary be cancelled, and tenure amended to conservation park for management by DBCA. The Polygon Identification Numbers for the unconstructed road reserves are – 11663244, 11663238, 11663242, 11663243.

Administration sees no objection to the closure of the two northern paper road reserves as Old Warriendar has been adequately captured with a road reserve that matches its actual construction.

Administration will liaise further to see if Warriendar Copper Mine Road can be captured in the same way at which point there would be no objection to the closure of the southern two paper road reserves. The Shire

would however request to leave the section between Yalgoo-Ninghan Road and Reserve 9800 which is currently vested with the Shire of Yalgoo. Comment should also be sought from the Shire of Perenjori.

3. Re-align Paynes-Find Thundelarra road reserve

The mapped area of the Paynes-Find Thundelarra road reserve does not currently reflect the on-ground location of the road. DBCA proposes the road reserve is re-aligned to provide consistency with the on-ground road, and for management of the road to remain with the Shire of Yalgoo.

Since this mapping was provided Landgate have already started to align road reserves to aerial imagery and existing roads. Sections of Payne Find – Thundelarra Road and Yalgoo – Ninghan have already been aligned to the actual. Further discussion will have to be held with respect to Old Warriendar Road and the Warriendar Copper Mine Road. If, as it appears, Landgate are able to conduct a desktop exercise without a physical survey, the Shire should pursue this further across other roads within the district. Confirmation will be sought but it appears the historical gazettal is compared to the aerial imagery.

4. Gazettal of Yalgoo Ninghan Road

Yalgoo Ninghan Road is a regionally important road managed by the Shire of Yalgoo. In consideration of the potential increase in tourism traffic to the conservation park and Shire area, DBCA proposes that Yalgoo Ninghan Road be gazetted as a road reserve.

Due to the “Ninghan District” a search of the government gazette returned too many records to check and further advice will have to be sought from Landgate. Sections of Yalgoo-Ninghan Road already exist within road reserves and it is extremely likely that the road in its current or a similar form was gazetted historically. From aerial imagery it has existed in its current location since at least 1984. It is more appropriate that the request be for the remainder of the Yalgoo-Ninghan Road to be picked up from aerial imagery and included within a road reserve rather than just identified within UCL on cadastre mapping.

VOTING REQUIREMENTS - Simple Majority

OFFICER RECOMMENDATION

DBCA Road Action Request

That Council:

- 1. supports the closure of a further section of the Burnerbinmah – Nalbarra Road within the Proposed Thundelarra Conservation Park; and**
- 2. accepts administrations comments with regards to the other four identified road reserves and delegates further responses to the CEO.**

Moved:

Seconded:

Motion put and carried:

11.4.5 Geo Park Tourism Budget Allocation

Author:	Ian Holland, Chief Executive Officer
Interest Declared:	No interest to disclose
Date:	20 June 2021
Attachments	Nil

MATTER FOR CONSIDERATION

That Council confirm its intention to budget \$21,350 in Tourism spending to support the further development of the Murchison GeoRegion in 2021/22. To accept Tourism spending this financial year with the possibility of a carry over into the 2021/22 financial year.

BACKGROUND

In the current financial year \$15,000 was allocated as a contribution to the Murchison GeoRegion Project. After further buy in and support from RDA Mid West and Gascoyne, Midwest Development Commission and Australia's Golden Outback this was further reduced to \$7602 per Shire for 7 Shires.

The Murchison Executive Group (MEG) and the GeoRegion Project Working Group endorsed a budget in March and confirmation is now requested. Some of the amount requested can effectively be considered a carry over as a Project Officer has just been appointed.

Some of the funds remaining this financial year are also proposed to be spent on a production that may run into the next financial year. Four surrounding Shires including Yalgoo are considering a joint project for the series 1 man & a bike produced by Visage Productions. This would be at a cost of \$8500 per LGA and would result in a five minute story with national exposure.

STATUTORY ENVIRONMENT - Local Government Act 1995

STRATEGIC IMPLICATIONS

CONSULTATION

COMMENT

The proposed GeoRegion 2021/22 budget is as follows:

Item	2021/22	Notes
Project Officer salary costs	\$64,000	Increased intensity from 2020/21
Project Officer travel / accommodation costs	\$10,000	Hire car, accommodation etc
Marketing plan / strategy	\$10,000	Notional cost
AGO marketing partnership	\$26,000	Social media, cooperative marketing, digital / print package – leverages at least equal from AGO
Printing booklets, maps, posters	\$10,000	Printing centrally and warehoused and distributed (via Vanguard) for Shire access
Brochure distribution / warehousing service	\$9,450	Storage, distribution, racking / display (130 sites), tracking – with Vanguard Press
Subscriptions / social media services etc	\$10,000	Hootsuite etc (notional)
Contingency	\$10,000	
Total	\$149,450	Ex GST
Per Shire (div by 7)	\$21,350	Ex GST

This year the Shire has expended \$19,000 of a \$35,000 budget allocation for Tourism. The proposed production is within budget. With the amount of rainfall received this year it is an ideal time to obtain footage in the area that shows a start contrast against other productions made in summer months. This series has covered parts of the Goldfields and Wheatbelt and more information on their proposal will be tabled.

VOTING REQUIREMENTS – Absolute Majority

OFFICER RECOMMENDATION

Geo Park Tourism Budget Allocation

That Council:

- 1. supports the inclusion of \$21,350 in the 2021/22 Budget on top of other existing commitments and contingencies; and**
- 2. approves the spending of \$8500 from the Tourism Budget on a 1 Man and a Bike Production.**

Moved:

Seconded:

Motion put and carried:

11.4.6 SHIRE OF YALGOO LOGO

Author:	Ian Holland, Chief Executive Officer
Interest Declared:	No interest to disclose
Date:	21 June 2021
Attachments	Logo Concept

MATTER FOR CONSIDERATION

That Council review the new logo designed by Rachael Weaver Studio8T4.

BACKGROUND

Council engaged an artist to create a possible new logo for the Shire of Yalgoo. A preferred option has been devised and can be seen as Option 2 in the attachment. This Logo is a colourful take on the existing black and white logo and incorporates many aspects of the Shire.

STATUTORY ENVIRONMENT - Local Government Act 1995

STRATEGIC IMPLICATIONS**CONSULTATION****COMMENT**

This new logo is not proposed as an immediate rebrand but permission is sought to use the logo alongside the existing logo and artwork in cost effective ways. It is proposed that it be the preferred option for use on letterhead and newly developed documents. It will be later phased in on other items and a watermark or faded version will also be developed.

It is proposed that Council adopt Option 2 – Atmospheric Sky – Arc and include it as the preferred or 1st option in the Governance and Policy Manual before the existing Logo as part of section 4.9 Policy Schedule 1.9 Shire Logo.

VOTING REQUIREMENTS – Absolute Majority

OFFICER RECOMMENDATION**Wild Dog Bounty Scheme Review**

That Council adopt Option 2 – Atmospheric Sky – Arc as a Shire of Yalgoo Logo for inclusion in Policy Schedule 1.9 Shire Logo as the preferred option on new publications.

Moved:

Seconded:

Motion put and carried:

11.4.7 WILD DOG BOUNTY SCHEME REVIEW

Author:	Ian Holland, Chief Executive Officer
Interest Declared:	No interest to disclose
Date:	21 June 2021
Attachments	Wild Dog Bounty Scheme Policy

MATTER FOR CONSIDERATION

That Council review proposed changes to the Wild Dog Bounty Scheme and include a simplified version of the “Terms and Conditions” as a policy in the Shires Policy Manual.

BACKGROUND

In February 2017 Council adopted Wild Dog Bounty Scheme 2 Terms and Conditions after they were devised by the Wild Dog Working Group.

In October 2017 it was proposed and accepted that pastoralists including those on Council be able to claim the scalp bounty and any money not claimed on scalps for a particular year could be used for an agreed purpose to assist in the reduction of wild dog numbers.

The Wild Dog Bounty Scheme 3 Terms and Conditions were updated during the 17/18 financial year but no policy was adopted by Council. \$10,000 has been included in each yearly budget since.

STATUTORY ENVIRONMENT - Local Government Act 1995

STRATEGIC IMPLICATIONS

CONSULTATION

COMMENT

Wild Dog Bounty Expenditure has resulted in or supported the destruction of 57 dogs or on average 14 dogs per year across 4 years. Shire expenditure has been \$5700 from a combined budget of \$40,000 (\$10,000 per year) or utilisation of 14.25% of the funds allocated across the 4 years.

2020/21 - \$200

2019/20 - \$900

2018/19 - \$3200

2017/18 - \$1400

In 2019/20 the Meekatharra Rangelands Biosecurity Council spent \$281,599 on Licensed Pest Management Technicians (LPMT) resulting in the trapping of 345 dogs. This equates to a cost of \$815 per dog or \$560 per day (for 503 equivalent days) for a LPMT.

It is proposed that the allocation could be better utilised if it were a grant based system that promoted wild dog eradication within the Shire of Yalgoo. Grants could be used to promote larger or joint programs for LPMTs working in the area or incentivise these operators to perform more effectively. An allocation of \$2000 could remain to promote opportunistic shooting.

Providing grants to pastoralists to support the hiring of LPMT or other activities now that the MRVC Cell Fence is nearing completion may help to bolster activities within the Cell or LGA.

The Shire would likely consult with pastoralists first and then a workshop could be conducted by Council to determine what appropriate projects could look like and how they could be acquitted.

Simple Community Grant processes exist in other local governments that involve an application form that is considered by Council at a set time of year (usually prior to the budget). Payment is then made on the supply of invoices or other supporting documentation by administration. Council can then determine the likelihood of the project fulfilling its goal and balance multiple projects against the budget allocation. Monetary caps could be considered per station, per dog or spread yearly across key or all applications received.

Ideas that could be discussed include:

- Coordination and local delivery of bulk fencing materials (particularly for joint projects).
- A bonus payment amount per dog for LPMTs working exclusively within the Shire of Yalgoo.
- Supporting LPMTs who are working in the region to operate on neighbouring properties.
- Contribution towards traps that meet current legislated requirements.
- Assisting with applications for larger State or Federal grants that assist with fencing, drought or wild dog control.
- Support innovative or diverse eradication efforts that are conducted in conjunction with neighbouring properties.

Further consultation may also be undertaken with DPIRD, National Wild Dog Action Plan, MRVC and Meekatharra Rangelands Biosecurity Association.

VOTING REQUIREMENTS – Absolute Majority

OFFICER RECOMMENDATION

Wild Dog Bounty Scheme Review

That Council:

- 1. writes to pastoral lease holders to gauge support and gather indicative project ideas for Wild Dog Eradication Grants; and**
- 2. adopts the attached Wild Dog Bounty Scheme Policy and confirms that funding will be limited to \$2000 per year.**

Moved:

Seconded:

Motion put and carried:

11.4.8 LOCAL ROADS AND COMMUNITY INFRASTRUCTURE GRANTS PHASE 1

Author:	Ian Holland, Chief Executive Officer
Interest Declared:	No interest to disclose
Date:	21 June 2021
Attachments	Nil

MATTER FOR CONSIDERATION

That Council accept the capital projects and breakdowns determined as a result of reallocating funding in the current phase 1 grant round from the Yalgoo Hall.

BACKGROUND

After determining 6 new projects in May 2021 the LCRI Grant administrators have determined the 2 projects are partially ineligible due to their portable or temporary nature. Amendments are proposed that align better with the program guidelines.

STATUTORY ENVIRONMENT - Local Government Act 1995

STRATEGIC IMPLICATIONS**CONSULTATION****COMMENT**

The portable traffic lights and temporary traffic signage in Project 6 (Traffic Management Improvements \$67,000) has been ruled as ineligible as has the portable toilet trailer and leaf vacuum in Project 4 (\$14,200). It is proposed that these items will be looked at in the 2021/22 budget.

A new project that we have just become aware of that requires attention is the treatment of the water from Shire Bores at Core Stadium. It has been found that salt build up from the ground water is having a detrimental effect on the ovals soil. A treatment system between the bores and the tanks as well as a dosing system is proposed for \$23,000.

The remaining \$38,000 is proposed to be spent on additional fixed signage for road conditions (\$20,000) and fixed exercise equipment at Core Stadium (\$18,000).

Voting Requirements – Absolute Majority

OFFICER RECOMMENDATION**LRCI Phase 1**

That Council agree to the altered scope of the Traffic management and Signage project which does not include traffic management lights or temporary signage totalling \$40,000 and two new projects being Oval Water Treatment \$23,000 and Fixed Exercise Equipment \$18,000.

Moved:

Seconded:

Motion put and carried:

12. NOTICE OF MOTIONS

12.1 PREVIOUS NOTICE RECEIVED

13. URGENT BUSINESS

14. MATTERS FOR WHICH THE MEETING MAY BE CLOSED

14.0 STATUTORY ENVIRONMENT – MEETING CLOSED TO THE PUBLIC

Councillors are obliged to maintain the confidentiality of matters discussed when the meeting is closed. Fines of up to \$10,000 or two years imprisonment apply to certain offences relating to misuse of information.

The following legislative extracts were downloaded from www.auslii.edu.au on 8 November 2010.

Local Government Act 1995

s5.23. Meetings generally open to the public

- (1) Subject to subsection (2), the following are to be open to members of the public —
 - (a) all council meetings; and
 - (b) all meetings of any committee to which a local government power or duty has been delegated.
- (2) If a meeting is being held by a council or by a committee referred to in subsection (1)(b), the council or committee may close to members of the public the meeting, or part of the meeting, if the meeting or the part of the meeting deals with any of the following —
 - (a) a matter affecting an employee or employees;
 - (b) the personal affairs of any person;
 - (c) a contract entered into, or which may be entered into, by the local government and which relates to a matter to be discussed at the meeting;
 - (d) legal advice obtained, or which may be obtained, by the local government and which relates to a matter to be discussed at the meeting;
 - (e) a matter that if disclosed, would reveal —
 - (i) a trade secret;
 - (ii) information that has a commercial value to a person; or
 - (iii) information about the business, professional, commercial or financial affairs of a person, where the trade secret or information is held by, or is about, a person other than the local government;
 - (f) a matter that if disclosed, could be reasonably expected to —
 - (i) impair the effectiveness of any lawful method or procedure for preventing, detecting, investigating or dealing with any contravention or possible contravention of the law;
 - (ii) endanger the security of the local government's property; or
 - (iii) prejudice the maintenance or enforcement of a lawful measure for protecting public safety;
 - (g) information which is the subject of a direction given under section 23(1a) of the Parliamentary Commissioner Act 1971 ; and

- (h) such other matters as may be prescribed.
- (3) A decision to close a meeting or part of a meeting and the reason for the decision are to be recorded in the minutes of the meeting.

s5.92 Access to information by council, committee members

- (1) A person who is a council member or a committee member can have access to any information held by the local government that is relevant to the performance by the person of any of his or her functions under this Act or under any other written law.
- (2) Without limiting subsection (1), a council member can have access to —
 - (a) all written contracts entered into by the local government; and
 - (b) all documents relating to written contracts proposed to be entered into by the local government.

s5.93. Improper use of information

A person who is a council member, a committee member or an employee must not make improper use of any information acquired in the performance by the person of any of his or her functions under this Act or any other written law —

- (a) to gain directly or indirectly an advantage for the person or any other person; or
- (b) to cause detriment to the local government or any other person. Penalty: \$10 000 or imprisonment for 2 years.

Local Government (Rules of Conduct) Regulations 2007

s6. Use of information

- (1) In this regulation —
 - closed meeting means a council or committee meeting, or a part of a council or committee meeting, that is closed to members of the public under section 5.23(2) of the Act;
 - confidential document means a document marked by the CEO to clearly show that the information in the document is not to be disclosed;
 - non-confidential document means a document that is not a confidential document.
- (2) A person who is a council member must not disclose —
 - (a) information that the council member derived from a confidential document; or
 - (b) information that the council member acquired at a closed meeting other than information derived from a non-confidential document.
- (3) Subregulation (2) does not prevent a person who is a council member from disclosing information —
 - (a) at a closed meeting; or
 - (b) to the extent specified by the council and subject to such other conditions as the council determines; or
 - (c) that is already in the public domain; or
 - (d) to an officer of the Department; or
 - (e) to the Minister; or
 - (f) to a legal practitioner for the purpose of obtaining legal advice; or
 - (g) if the disclosure is required or permitted by law.

15. NEXT MEETING

The next Ordinary Meeting of Council is due to be held in the Council Chambers in Gibbons Street on Friday 28 July 2017 commencing at 11.00 am.

16. MEETING CLOSURE

There being no further business, the President declared the Ordinary meeting closed at



Finance Attachments

(Blue pages)

ITEM N^o 1 1.3.3

Monthly Financial Statement Ending 31 May 2021



SHIRE OF YALGOO
MONTHLY STATEMENTS
FOR THE PERIOD ENDED 31 MAY 2021

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SHIRE OF YALGOO
STATEMENT OF COMPREHENSIVE INCOME
FOR THE PERIOD ENDED 31 MAY 2021

	2020-21 ANNUAL BUDGET	2020-21 JULY - MAY BUDGET	2020-21 JULY - MAY ACTUAL
EXPENDITURE	\$	\$	\$
General Purpose Funding	(188,980)	(162,103)	(162,984)
Governance	(487,317)	(446,707)	(305,498)
Law, Order, Public Safety	(180,371)	(165,340)	(127,779)
Health	(173,408)	(158,957)	(96,241)
Education and Welfare	(22,749)	(20,853)	(5,233)
Housing	(276,383)	(265,676)	(304,721)
Community Amenities	(258,113)	(238,469)	(150,189)
Recreation and Culture	(914,227)	(838,041)	(761,522)
Transport	(2,386,613)	(2,187,729)	(1,431,660)
Economic Services	(1,066,833)	(977,930)	(759,187)
Other Property and Services	(13,271)	(12,165)	(279,606)
	(5,968,265)	(5,473,971)	(4,384,620)
FINANCE COSTS			
Housing	(13,445)	0	(7,231)
Community Amenities	(2,262)	0	(2,262)
	(15,707)	0	(9,493)
<i>Total Expenditure</i>	(5,983,972)	(5,473,971)	(4,394,113)
REVENUE			
General Purpose Funding	3,821,531	4,233,841	3,815,617
Governance	0	0	0
Law, Order, Public Safety	24,200	24,200	40,184
Health	15,875	15,875	260
Education and Welfare	0	0	0
Housing	17,500	16,042	12,880
Community Amenities	14,250	14,250	17,755
Recreation and Culture	304,700	304,308	6,531
Transport	243,224	823,224	428,673
Economic Services	246,810	236,202	188,564
Other Property & Services	38,250	37,646	9,067
	4,726,340	5,705,588	4,519,531
PROFIT (LOSS) ON DISPOSAL OF ASSETS			
Plant and Equipment	15,457	15,457	204,000
Land and Buildings	0	0	0
<i>Gain (Loss) on Disposal</i>	15,457	15,457	204,000
NON - OPERATING GRANTS,SUBS,CONTRIB			
General Purpose Funding	414,110	0	0
Recreation and Culture	0	0	0
Transport	580,000	0	161,098
Economic Services	0	0	0
<i>Total Non - Operating</i>	994,110	0	161,098
<i>Total Revenue</i>	5,735,907	5,721,045	4,884,629
<i>Net Result</i>	(248,065)	247,074	490,516
<i>Total Comprehensive Income</i>	(248,065)	247,074	490,516

SHIRE OF YALGOO
FINANCIAL ACTIVITY STATEMENT
FOR THE PERIOD ENDED 31 MAY 2021

	2020-21 JULY- MAY BUDGET	2020-21 JULY- MAY ACTUAL	2020-21 ANNUAL BUDGET	2020-21 VARIANCE		2020-21 VARIANCE	COMMENTS
				FAVOURABLE	UNFAVOURABLE		
OPERATING REVENUE	\$	\$	\$	\$	\$	%	
General Purpose Funding	4,233,841	3,815,617	4,235,641		(418,224)	-9.88%	LRCI grants not yet received and less rates levied
Governance	0	0	0				
Law, Order Public Safety	24,200	40,184	24,200	15,984		66.05%	Additional fire prevention operating grant received
Health	15,875	260	15,875		(15,615)	-98.36%	Garden and building mtce for nursing post not yet invoiced
Education and Welfare	0	0	0				
Housing	16,042	12,880	17,500		(3,162)	-19.71%	Minor variance
Community Amenities	14,250	17,755	14,250	3,505		24.60%	Minor variance
Recreation and Culture	304,308	6,531	304,700		(297,777)	-97.85%	Grant for Yalgoo hall renovations not yet applied for
Transport	823,224	589,771	823,224		(233,453)	-28.36%	RRGP and R2R grants not yet received and road agreement charges not yet raised
Economic Services	236,202	188,564	246,810		(47,638)	-20.17%	Additional caravan park receipts and contributions for HCP not yet invoiced and less emu cup receipts
Other Property and Services	37,646	9,067	38,250		(28,579)	-75.91%	Fuel credits not yet posted
	\$5,705,588	\$4,680,629	\$5,720,450	\$19,489	(\$1,044,448)		
LESS OPERATING EXPENDITURE							
General Purpose Funding	(162,103)	(162,984)	(188,980)		(881)	-0.54%	Minor variance
Governance	(446,707)	(305,498)	(487,317)	141,209		31.61%	Consultancy fees for studies and integrated planning not yet incurred, less admin allocation
Law, Order, Public Safety	(165,340)	(127,779)	(180,371)	37,561		22.72%	CESM contributions not yet invoiced, less admin allocation and animal control expenditure
Health	(158,957)	(96,241)	(173,408)	62,717		39.46%	Additional nurse expenses not yet incurred and less admin allocation
Education and Welfare	(20,853)	(5,233)	(22,749)	15,620		74.91%	Local action group expenditure not yet incurred
Housing	(265,676)	(311,952)	(289,828)		(46,276)	-17.42%	Additional repairs and mtce staff housing
Community Amenities	(238,469)	(152,451)	(260,375)	86,017		36.07%	Less Yalgoo refuse sit mtce, public conveniences and revitalisation grant not yet expended and additional community bus expenses
Recreation and Culture	(838,041)	(761,522)	(914,227)	76,519		9.13%	Less Yalgoo hall costs, paynes find complex, art centre mtce and celebration expenses and additional community oval and pavilion and old railway station grounds mtce expenditure
Transport	(2,187,729)	(1,431,660)	(2,386,613)	756,068		34.56%	Less expenditure on rural roads and town streets
Economic Services	(977,930)	(759,187)	(1,066,833)	218,743		22.37%	Additional caravan park operations and HCP expend. and less expenditure on emu cup event and banners on the terrace and contributions to MRVC for vermin fence construction

SHIRE OF YALGOO
FINANCIAL ACTIVITY STATEMENT
FOR THE PERIOD ENDED 31 MAY 2021

	2020-21 JULY- MAY BUDGET	2020-21 JULY- MAY ACTUAL	2020-21 ANNUAL BUDGET	2020-21 VARIANCE		2020-21 VARIANCE	COMMENTS
				FAVOURABLE	UNFAVOURABLE		
Other Property & Services	(12,165)	(279,606)	(13,271)		(267,441)	-2198.43%	under allocation to works of PWO and POC
	(\$5,473,971)	(\$4,394,113)	(\$5,983,972)	\$1,394,455	(\$314,597)		
<i>Increase(Decrease)</i>	\$231,617	\$286,516	(\$263,522)	\$1,413,944	(\$1,359,044)		
ADD							
Movement in current portion of loan borrowings	0	0	0				
Movement in Non - Current Provisions	0	0	0				
Movement in Accrued Salary and Wages	0	0	0				
Movement in Accrued Interest on Debentures	0	0	0				
Profit/ Loss on the disposal of assets	15,457	204,000	15,457	188,543		1219.79%	Gain/loss on disposal not yet calculated
Depreciation Written Back	1,145,182	1,041,075			(104,107)	-9.09%	Depreciation not yet allocated for May 2021
Book Value of Assets Sold Written Back	227,043	0	227,043		(227,043)	-100.00%	Gain/loss on disposal not yet calculated
	\$1,387,682	\$1,245,075	\$242,500	\$188,543	(\$331,150)		
<i>Sub Total</i>	\$1,619,298	\$1,531,591	(\$21,022)	\$1,602,487	(\$1,690,194)		
LESS CAPITAL PROGRAMME	\$	\$	\$	\$		%	
Purchase Tools	0	0	0				
Purchase Land & Buildings	(1,087,157)	(194,314)	(1,457,157)	892,843		82.13%	Refer to capital works programme report attached
Infrastructure Assets - Roads	(999,110)	(538,538)	(999,110)	460,572		46.10%	Refer to capital works programme report attached
Infrastructure Assets - Recreation Facilities	(29,256)	(28,127)	(29,256)	1,129		3.86%	Refer to capital works programme report attached
Infrastructure Assets - Other	(113,656)	(19,210)	(113,656)	94,446		83.10%	Refer to capital works programme report attached
Purchase Plant and Equipment	(875,300)	(828,798)	(881,300)	46,502		5.31%	Refer to capital works programme report attached
Purchase Furniture and Equipment	(111,600)	(94,072)	(251,600)	17,528		15.71%	Refer to capital works programme report attached
Repayment of Debt - Loan Principal	(50,326)	(54,204)	(100,652)		(3,878)	-7.71%	Loan paid earlier then anticipated
Transfer to Reserves	0	(141,849)	(471,496)		(141,849)	-100.00%	Transfer to reserves earlier then anticipated
	(\$3,266,405)	(\$1,899,112)	(\$4,304,227)	\$1,513,020	(\$145,727)		
ABNORMAL ITEMS							
		(2)			(2)		
	(\$3,266,405)	(\$1,899,114)	(\$4,304,227)	\$1,513,020	(\$145,729)		
<i>Sub Total</i>	(\$1,647,107)	(\$367,523)	(\$4,325,250)	\$3,115,507	(\$1,835,923)		
LESS FUNDING FROM							
Reserves	0	0	0				
Loans Raised	0	0	0				
Opening Funds	3,075,961	3,075,961	3,075,961				
Closing Funds	0	0	0				
	\$3,075,961	\$3,075,961	\$3,075,961	\$0	\$0		
NET SURPLUS (DEFICIT)	\$1,428,854	\$2,708,438	(\$1,249,289)	\$3,115,507	(\$1,835,923)		
		\$1,279,584			\$1,279,584		

SHIRE OF YALGOO**SUMMARY OF CURRENT ASSETS AND LIABILITIES****FOR THE PERIOD ENDED 31 MAY 2021**

CURRENT ASSET	ACTUAL
	\$
Cash at Bank	
- Cash Advance	200.00
- Cash at Bank	1,661,629.21
- Investments Unrestricted	0.00
- Investments Reserves	1,776,144.77
Sundry Debtors General	1,772,578.67
Stock on Hand	0.00
Other Assets	0.00
	5,210,552.65
LESS CURRENT LIABILITIES	ACTUAL
Sundry Creditors	737,336.06
Interest Bearing Loans and Borrowings	46,447.54
Provisions for Annual and Long Service Leave	192,052.00
	975,835.60
Adjustments	
Less Cash Backed Reserves	1,776,144.77
Plus Interest Bearing Loans and Borrowings	46,447.54
Plus Provision for Annual and Long Service Leave	192,052.00
Plus Accrued Salaries and Wages	10,386.00
Plus Interest on Debentures	980.83
SURPLUS OF CURRENT ASSETS OVER CURRENT LIABILITIES	\$ 2,708,438.65

SHIRE OF YALGOO
STATEMENT OF FINANCIAL POSITION
AS AT 31 MAY 2021

This section analyses the movements in assets, liabilities and equity between 2019/20 and 2020/21.

	Actual 2019-20 \$	Actual 2020-21 \$	Variance \$
Current assets			
Cash and cash equivalents	3,797,857	3,437,974	-359,883
Trade and other receivables	1,876,888	1,772,579	-104,309
Inventories	0	0	0
Other assets	0	0	0
Total current assets	5,674,745	5,210,553	-464,192
Non-current assets			
Other Financial Assets	17,517	17,517	0
Property, plant and equipment	10,938,865	11,318,968	380,103
Infrastructure	74,717,076	74,998,957	281,881
Total non-current assets	85,673,458	86,335,442	661,984
Total assets	91,348,203	91,545,995	197,792
Current liabilities			
Trade and other payables	974,104	737,336	236,768
Interest-bearing loans and borrowings	100,652	46,448	54,204
Provisions	192,052	192,052	0
Total current liabilities	1,266,808	975,836	290,972
Non-current liabilities			
Interest-bearing loans and borrowings	260,228	260,228	0
Provisions	56,252	56,252	0
Total non-current liabilities	316,480	316,480	0
Total liabilities	1,583,288	1,292,316	290,972
Net assets	89,764,915	90,253,679	488,764
Equity			
Accumulated surplus	32,915,836	32,773,988	-141,848
Change in net assets resulting from operations	0	488,764	488,764
Asset revaluation reserve	55,213,031	0	-55,213,031
Other reserves	1,636,048	1,777,896	141,848
Total equity	89,764,915	35,040,648	-54,724,267

**SHIRE OF YALGOO
RESERVE FUNDS
FOR THE PERIOD ENDING 31 MAY 2021**

Leave Reserve 0101017056

Opening Balance
Plus Transfer from Accumulated Surplus
 -Other
 - Interest Received
Less Transfer to Accumulated Surplus
 -Other
CLOSING BALANCE

O/BALANCE 01-07-20	BUDGET 2020-21	ACTUALS 2020-21 YTD
\$	\$	\$
49,269.67	49,270	49,269.67
0.00	0	0.00
0.00	482	378.35
0.00	0	0.00
49,269.67	49,752	49,648.02

Purpose - To be used to fund annual and long service leave requirements.

Plant Reserve 0101017059

Opening Balance
Plus Transfer from Accumulated Surplus
 -Other -
 - Interest Received
Less Transfer to Accumulated Surplus
 -Other
CLOSING BALANCE

O/BALANCE 01-07-20	BUDGET 2020-21	ACTUALS 2020-21 YTD
\$	\$	\$
60,972.49	60,972	60,972.49
0.00	0	0
0.00	596	468.22
0.00	0	0
60,972.49	61,568	61,440.71

Purpose - To be used for the purchase of major plant.

Building Reserve 0101017060

Opening Balance
Plus Transfer from Accumulated Surplus
 - Interest Received
Less Transfer to Accumulated Surplus
 -Other
CLOSING BALANCE

O/BALANCE 01-07-20	BUDGET 2020-21	ACTUALS 2020-21 YTD
\$	\$	\$
162,253.57	162,254	162,253.57
0.00	1,587	1,245.97
0.00	0	
162,253.57	163,841	163,499.54

Purpose - To be used for the replacement of council properties including housing and other properties.

**SHIRE OF YALGOO
RESERVE FUNDS
FOR THE PERIOD ENDING 31 MAY 2021**

Yalgoo Ninghan Road Reserve 0101017058

Opening Balance
Plus Transfer from Accumulated Surplus
 -Other unspent contribution MMG
 - Interest Received
Less Transfer to Accumulated Surplus
 -Other Recoup of Expenditure Road Mtce MMG
CLOSING BALANCE

O/BALANCE	BUDGET	ACTUALS
01-07-20	2020-21	2020-21 YTD
\$	\$	\$
532,232.78	532,233	532,232.78
0.00	317,580	0.00
0.00	5,205	4,087.08
0.00	0	0.00
532,232.78	855,018	536,319.86

Purpose - To be used to maintain the sealed Yalgoo Ninghan Road.

Sports Complex Reserve 0101017061

Opening Balance
Plus Transfer from Accumulated Surplus
 -Other
 - Interest Received
Less Transfer to Accumulated Surplus
 -Other
CLOSING BALANCE

O/BALANCE	BUDGET	ACTUALS
01-07-20	2020-21	2020-21 YTD
\$	\$	\$
95,789.59	95,790	95,789.59
0.00	0	0.00
0.00	937	735.58
0.00	0	0.00
95,789.59	96,727	96,525.17

Purpose - For the development of new recreational facilities.

Housing Maintenance Reserve 0101017050

Opening Balance
Plus Transfer from Accumulated Surplus
 -Other
 - Interest Received
Less Transfer to Accumulated Surplus
 -Other
CLOSING BALANCE

O/BALANCE	BUDGET	ACTUALS
01-07-20	2020-21	2020-21 YTD
\$	\$	\$
123,246.70	123,247	123,246.70
0.00	0	0.00
0.00	1,205	946.43
0.00	0	0.00
123,246.70	124,452	124,193.13

Purpose - For the maintenance of staff and other housing owned by the Shire.

**SHIRE OF YALGOO
RESERVE FUNDS
FOR THE PERIOD ENDING 31 MAY 2021**

General Road Reserve 0101017051

Opening Balance
Plus Transfer from Accumulated Surplus
-Other
- Interest Received
Less Transfer to Accumulated Surplus
-Other
CLOSING BALANCE

O/BALANCE 01-07-20	BUDGET 2020-21	ACTUALS 2020-21 YTD
\$	\$	\$
492.84	493	492.84
0.00	128,720	128,760.39
0.00	5	529.27
0.00	0	0.00
492.84	129,218	129,782.50

Purpose - For the maintenance of grids,etc on roads in the Shire.

Community Amenities Maintenance Reserve 0101017062

Opening Balance
Plus Transfer from Accumulated Surplus
-Other
- Interest Received
Less Transfer to Accumulated Surplus
-Other
CLOSING BALANCE

O/BALANCE 01-07-20	BUDGET 2020-21	ACTUALS 2020-21 YTD
\$	\$	\$
271,589.37	271,589	271,589.37
0.00	0	0.00
0.00	2,656	2,085.58
0.00	0	0.00
271,589.37	274,245	273,674.95

Purpose - For the maintenance of community amenities.

HCP Reserve 0101017063

Opening Balance
Plus Transfer from Accumulated Surplus
-Other
- Interest Received
Less Transfer to Accumulated Surplus
-Other
CLOSING BALANCE

O/BALANCE 01-07-20	BUDGET 2020-21	ACTUALS 2020-21 YTD
\$	\$	\$
141,758.81	141,759	141,758.81
0.00	0	0.00
0.00	1,386	1,088.59
0.00	0	0.00
141,758.81	143,145	142,847.40

Purpose - For future community projects operating expenditure.

**SHIRE OF YALGOO
RESERVE FUNDS
FOR THE PERIOD ENDING 31 MAY 2021**

Yalgoo Morawa Road Reserve 0101017064

Opening Balance
Plus Transfer from Accumulated Surplus
 -Other Deflector Mine
 - Interest Received
Less Transfer to Accumulated Surplus
 -Other
CLOSING BALANCE

O/BALANCE	BUDGET	ACTUALS
01-07-20	2020-21	2020-21 YTD
\$	\$	\$
173,607.77	173,608	173,607.77
0.00	9,196	0.00
0.00	1,698	1,333.14
0.00	0	0.00
173,607.77	184,502	174,940.91

Purpose - To be used to maintain the sealed Yalgoo Morawa Road.

Superannuation Back Pay Reserve 0101017052

Opening Balance
Plus Transfer from Accumulated Surplus
 -Other
 - Interest Received
Less Transfer to Accumulated Surplus
 -Other
CLOSING BALANCE

O/BALANCE	BUDGET	ACTUALS
01-07-20	2020-21	2020-21 YTD
\$	\$	\$
24.03	24	24.03
0.00	0	0.00
0.00	0	0.19
0.00	0	0.00
24.03	24	24.22

Purpose - For the purpose of paying any superannuation and back pay costs.

Office Equipment Reserve 0101017053

Opening Balance
Plus Transfer from Accumulated Surplus
 -Other
 - Interest Received
Less Transfer to Accumulated Surplus
 -Other
CLOSING BALANCE

O/BALANCE	BUDGET	ACTUALS
01-07-20	2020-21	2020-21 YTD
\$	\$	\$
3,623.16	3,623	3,623.16
0.00	0	0.00
0.00	35	27.82
0.00	0	0.00
3,623.16	3,658	3,650.98

Purpose - For the purpose of purchase of new office equipment and tht maintenance of existing equipment.

**SHIRE OF YALGOO
RESERVE FUNDS
FOR THE PERIOD ENDING 31 MAY 2021**

Natural Disaster Triggerpoint Reserve **0101017054**

	O/BALANCE 01-07-20	BUDGET 2020-21	ACTUALS 2020-21 YTD
	\$	\$	\$
Opening Balance	12,806.78	12,807	12,806.78
Plus Transfer from Accumulated Surplus			
-Other	0.00	0	0.00
- Interest Received	0.00	126	98.33
Less Transfer to Accumulated Surplus			
-Other	0.00	0	0.00
CLOSING BALANCE	12,806.78	12,933	12,905.11

Purpose - To be used to fund the Shire mandatory contribution when the Shire receives funding for reparation after natural disaster events.

Emergency Road Repairs Reserve **0101017055**

	O/BALANCE 01-07-20	BUDGET 2020-21	ACTUALS 2020-21 YTD
	\$	\$	\$
Opening Balance	8,379.60	8,380	8,379.60
Plus Transfer from Accumulated Surplus			
-Other	0.00	0	0.00
- Interest Received	0.00	83	64.35
Less Transfer to Accumulated Surplus			
-Other	0.00	0	0.00
CLOSING BALANCE	8,379.60	8,463	8,443.95

Purpose - To be used to fund emergency repairs to roads that are damaged by unfunded events (storm damages, vehicular, etc).

<u>Total</u>	1,636,047.16	2,107,544	1,777,896.45
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**SHIRE OF YALGOO
LOAN SCHEDULE
AS AT 31 MAY 2021**

Program	Loan No.	Principal 01.07.2020	Loans Raised		Interest		Loan Repayment		Principal 31.06.2021 Budget	Principal 31/05/2021 Actual
			Budget 2020-21	Actual 2020-21	Budget 2020-21	Actual 2020-21	Budget 2020-21	Actual 2020-21		
		\$	\$	\$	\$	\$	\$	\$	\$	\$
STAFF HOUSING	53	67,264	0	0	4115	2200	17676	8,693	49,588	58,571
STAFF HOUSING	55	93,560	0	0	5,610	2,971	21,212	10,438	72,348	83,122
STAFF HOUSING	56	161,416	0	0	3,720	2,060	52,983	26,292	108,433	135,124
PUBLIC TOILETS	54	38,641	0	0	2,262	2,262	8,781	8,781	29,860	29,860
		360,881	0	0	15,707	9,493	100,652	54,204	260,229	306,677
PLUS Change in Net Accrual						-				
TOTAL		360,881	0	0	15,707	9,493	100,652	54,204	260,229	306,677

Shire of Yalgoo

Detailed Statement

Details By function Under The Following Programme Titles

And Type Of Activities Within The Programme

	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
Proceeds Sale of Assets						
	(\$204,000)					
1201011995 -Profit on Sale of Assets		\$0	\$0	\$0	\$0	\$0
1405011995 - Profit on Sale of Assets	\$0	\$0	\$0	\$0	\$0	\$0
1404011995 - Profit on Sale of Assets	\$0	\$0	\$0	\$0	\$0	\$0
000000 CONTRA	\$204,000	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Prime Mover	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Back Hoe	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Cab Dual Truck	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Toro Mower	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Motor Vehicle Works Parks YA827	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Motor Vehicle YA800	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Motor Vehicle EMC YA805	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Motor Vehicle Fortunner	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Motor Vehicle CEO	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Community Bus	\$0	\$0	(\$10,000)	\$0	(\$10,000)	\$0
00000 Proceeds Sale of Assets - Grader	(\$115,000)	\$0	(\$115,000)	\$0	(\$115,000)	\$0
00000 Proceeds Sale of Assets - Trailer Tandum Axle	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets -Bomag BW24R	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Motor Vehicle Works Foreman Ute YA899	(\$56,364)	\$0	(\$45,000)	\$0	(\$45,000)	\$0
00000 Proceeds Sale of Assets - Truck Works	(\$32,636)	\$0	(\$25,000)	\$0	(\$25,000)	\$0
00000 Proceeds Sale of Assets - Truck Parks YA329	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Insurance Claim - YA827 note purchased 2015-16	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Ride on Mower	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets - Trailer Side Tipper	\$0	\$0	(\$45,000)	\$0	(\$45,000)	\$0
00000 Proceeds Sale of Assets - Toad Sweeper	\$0	\$0	(\$2,500)	\$0	(\$2,500)	\$0
00000 Proceeds Sale of Assets - Volvo FH16 credit refunded by Westrac pri	\$0	\$0	\$0	\$0	\$0	\$0
00000 Proceeds Sale of Assets -Sundry Equipment - Councillors Ipad	\$0	\$0	\$0	\$0	\$0	\$0
	(\$204,000)	\$0	(\$242,500)	\$0	(\$242,500)	\$0
Written Down Value						
00000 Written Down Value - Prime Mover	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Backhoe	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Truck Works Dual Cab	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Motor Vehicle Works YA827	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Motor Vehicle Centrecare YA800	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Motor Vehicle EMC YA805	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Fortunner	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Motor Vehicle CEO	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Toro Mower	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Grader	\$0	\$0	\$0	\$126,000	\$0	\$126,000
00000 Written Down Value -Community Bus	\$0	\$0	\$0	\$9,000	\$0	\$9,000
00000 Written Down Value - Trailer	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Bomag BW24R	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Works Foreman ute YA899	\$0	\$0	\$0	\$61,376	\$0	\$61,376
00000 Written Down Value - Truck Parks YA329	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Truck Tipper	\$0	\$0	\$0	\$30,667	\$0	\$30,667
00000 Written Down Value - Concrete Truck	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Batching Plant and Agitator on Trailer	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - Boomlift	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value -Ride on Mower	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - YA827 note purchased 2015-16	\$0	\$0	\$0	\$0	\$0	\$0
00000 Written Down Value - 17 Shamrock Street	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - GAIN/LOSS ON DISPOSAL OF ASSET	(\$204,000)	\$0	(\$242,500)	\$227,043	(\$242,500)	\$227,043
Total - GAIN/LOSS ON DISPOSAL OF ASSET	(\$204,000)	\$0	(\$242,500)	\$227,043	(\$242,500)	\$227,043
ABNORMAL ITEMS						
00000 Years Doubtful Debts Provision	\$0	\$0	\$0	\$0	\$0	\$0
00000 Bad Debts Written Off	\$0	\$0	\$0	\$0	\$0	\$0
00000 Prior Years Asset Adjustment -	\$0	\$0	\$0	\$0	\$0	\$0
00000 Prior Years Payment Written Back	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - ABNORMAL ITEMS	\$0	\$0	\$0	\$0	\$0	\$0
Total - ABNORMAL ITEMS	\$0	\$0	\$0	\$0	\$0	\$0
Total - OPERATING STATEMENT	(\$204,000)	\$0	(\$242,500)	\$227,043	(\$242,500)	\$227,043
GENERAL PURPOSE FUNDING						
RATES						

Shire of Yalgoo

Detailed Statement

Details By function Under The Following Programme Titles

And Type Of Activities Within The Programme

	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
OPERATING EXPENDITURE						
0000000000 - Early Payment Incentive	\$0	\$0	\$0	\$1,000	\$0	\$1,000
0000000000 - Title Searches	\$0	\$0	\$0	\$38	\$0	\$200
0301052645 - Valuation Expenses	\$0	\$15,659	\$0	\$1,520	\$0	\$8,000
0301902540- Debt Collection Costs	\$0	\$0	\$0	\$780	\$0	\$4,000
0000000000 - Rates Computer Services	\$0	\$0	\$0	\$0	\$0	\$0
0301052612 - Refunds	\$0	\$10,983	\$0	\$565	\$0	\$3,000
0000000000 - Other Expenses	\$0	\$290	\$0	\$48	\$0	\$250
0301922505 - Admin Allocation - Rates	\$0	\$87,835	\$0	\$97,324	\$0	\$106,172
0302052505 - Admin Allocation - Other GPF	\$0	\$48,217	\$0	\$60,828	\$0	\$66,358
 Sub Total - GENERAL RATES OP/EXP	 \$0	 \$162,984	 \$0	 \$162,103	 \$0	 \$188,980
OPERATING INCOME						
0301051740- GRV- Townsites Improved	(\$21,066)	\$0	(\$19,924)	\$0	(\$19,924)	\$0
0000000000- GRV- Mining Infrastructure	\$0	\$0	(\$745,833)	\$0	(\$745,833)	\$0
0301151720 - UV - Pastoral Rates	(\$69,667)	\$0	(\$65,607)	\$0	(\$65,607)	\$0
0301201710 - UV - Mining Leases	(\$2,394,889)	\$0	(\$1,642,519)	\$0	(\$1,642,519)	\$0
0301251700 - UV - Prospecting	(\$148,576)	\$0	(\$133,846)	\$0	(\$133,846)	\$0
0301451740- GRV - Minimum (Improved)	\$0	\$0	(\$1,450)	\$0	(\$1,450)	\$0
0301101745 - GRV - Minimum (Vacant)	(\$2,900)	\$0	(\$2,900)	\$0	(\$2,900)	\$0
0310551720 - UV - Minimum (Pastoral)	\$0	\$0	(\$3,770)	\$0	(\$3,770)	\$0
0310601710 - UV - Minimum (Mining)	\$0	\$0	(\$13,920)	\$0	(\$13,920)	\$0
0000000000 - UV - Minimum (Prospecting)	\$0	\$0	(\$22,040)	\$0	(\$22,040)	\$0
0000000000 - UV Interim (Exploration)	\$0	\$0	(\$2,292)	\$0	(\$2,500)	\$0
0301752615 - Rates Written Off & Provision for Doubtful Debts Written I	\$0	\$0	\$0	\$0	\$0	\$0
0301801125 - Legal Expenses Recovered	\$0	\$0	\$0	\$0	\$0	\$0
 0301401780 - Non Payment Penalty	 (\$13)	 \$0	 \$0	 \$0	 \$0	 \$0
0000000000 - FESA Interest	\$0	\$0	\$0	\$0	\$0	\$0
0301951005 - Account Enquiries	\$0	\$0	(\$92)	\$0	(\$100)	\$0
0301301770 - Cost of Instalment Option Interest	\$0	\$0	\$0	\$0	\$0	\$0
0301351775 - Cost of Instalment Option Admin Fees	(\$184)	\$0	\$0	\$0	\$0	\$0
 Sub Total - GENERAL RATES OP/INC	 (\$2,637,295)	 \$0	 (\$2,654,192)	 \$0	 (\$2,654,409)	 \$0
Total - GENERAL RATES	(\$2,637,295)	\$162,984	(\$2,654,192)	\$162,103	(\$2,654,409)	\$188,980
OTHER GENERAL PURPOSE FUNDING						
OPERATING EXPENDITURE						
	\$0	\$0	\$0	\$0	\$0	\$0
 Sub Total - OTHER GENERAL PURPOSE FUNDING OP/EXP	 \$0	 \$0	 \$0	 \$0	 \$0	 \$0
OPERATING INCOME						
0303051525 - Grants Commission	(\$881,557)	\$0	(\$869,551)	\$0	(\$869,551)	\$0
0303051525 - Local Road Grants	(\$283,540)	\$0	(\$278,571)	\$0	(\$278,571)	\$0
0000000000- Grants - Local Roads and Community Infrastructure Program (LRCl)	\$0	\$0	(\$414,110)	\$0	(\$414,110)	\$0
0303051315 - Interest on Invest - Muni	(\$136)	\$0	(\$2,750)	\$0	(\$3,000)	\$0
0303051315 - Interest on Invest - Reserves	(\$13,089)	\$0	(\$14,667)	\$0	(\$16,000)	\$0
0303051315 - Interest on Invest-Other Funds	\$0	\$0	\$0	\$0	\$0	\$0
 Sub Total - OTHER GENERAL PURPOSE FUNDING OP/INC	 (\$1,178,322)	 \$0	 (\$1,579,649)	 \$0	 (\$1,581,232)	 \$0
Total - OTHER GENERAL PURPOSE FUNDING	(\$1,178,322)	\$0	(\$1,579,649)	\$0	(\$1,581,232)	\$0
Total - GENERAL PURPOSE FUNDING	(\$3,815,617)	\$162,984	(\$4,233,841)	\$162,103	(\$4,235,641)	\$188,980
GOVERNANCE						
MEMBERS OF COUNCIL						
OPERATING EXPENDITURE						
0401012725 - Members Subscriptions	\$0	\$0	\$0	\$1,833	\$0	\$2,000
0401012716 - Presidents allowance	\$0	\$10,055	\$0	\$11,000	\$0	\$12,000
0401012717 - Deputy Presidents allowance	\$0	\$2,750	\$0	\$2,750	\$0	\$3,000
0401012715 - Members Meeting Fees	\$0	\$20,194	\$0	\$27,500	\$0	\$30,000
0401012718 - Members Travelling	\$0	\$4,991	\$0	\$6,875	\$0	\$7,500
0401012719 - Member Communication Allowance	\$0	\$18,375	\$0	\$19,250	\$0	\$21,000
0401012060 - Conference Expenses	\$0	\$1,267	\$0	\$13,750	\$0	\$15,000

<i>Shire of Yalgoo</i>						
<i>Detailed Statement</i>						
Details By function Under The Following Programme Titles						
And Type Of Activities Within The Programme						
	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
0401012120 - Training Expenses	\$0	\$1,310	\$0	\$5,500	\$0	\$6,000
0401012721 - Refreshments & Receptions	\$0	\$4,316	\$0	\$5,500	\$0	\$6,000
0401012722 - Election Expenses	\$0	\$0	\$0	\$0	\$0	\$0
0401012723 - Council Chambers Maintenance	\$0	\$0	\$0	\$1,833	\$0	\$2,000
0401012300- Members Insurance	\$0	\$1,175	\$0	\$1,100	\$0	\$1,200
0401012705 - Members Donations	\$0	\$3,535	\$0	\$3,392	\$0	\$3,700
0401052720 - Murchison Zone WALGA Exps	\$0	\$2,725	\$0	\$2,292	\$0	\$2,500
0401012720 - Members Expenses Other	\$0	\$9,674	\$0	\$9,167	\$0	\$10,000
0401012695 - Consultancy -Planning - Integrated,Policies ,Local Laws,Reg 17 & 5A	\$0	\$0	\$0	\$64,167	\$0	\$70,000
0401012695 - Consultancy CEO Recruitment	\$0	\$13,750	\$0	\$18,333	\$0	\$20,000
0401252695 - Planning - Business Cases - Grant Applications	\$0	\$0	\$0	\$6,875	\$0	\$7,500
0401012505 - Admin Allocation - Members	\$0	\$209,309	\$0	\$243,312	\$0	\$265,431
0401012980 - Depn - Membership	\$0	\$2,072	\$0	\$2,279	\$0	\$2,486
Sub Total - MEMBERS OF COUNCIL OP/EXP	\$0	\$305,498	\$0	\$446,707	\$0	\$487,317
OPERATING INCOME						
0402011620 - Community Event funding	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - MEMBERS OF COUNCIL OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - MEMBERS OF COUNCIL	\$0	\$305,498	\$0	\$446,707	\$0	\$487,317
GOVERNANCE - GENERAL						
OPERATING EXPENDITURE						
Sub Total - GOVERNANCE - GENERAL OP/EXP	\$0	\$0	\$0	\$0	\$0	\$0
OPERATING INCOME						
Sub Total - GOVERNANCE - GENERAL OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - GOVERNANCE - GENERAL	\$0	\$0	\$0	\$0	\$0	\$0
Total - GOVERNANCE	\$0	\$305,498	\$0	\$446,707	\$0	\$487,317
LAW ORDER & PUBLIC SAFETY						
FIRE PREVENTION						
OPERATING EXPENDITURE						
050101 - Fire Prevention Expenses	\$0	\$6,337	\$0	\$4,583	\$0	\$5,000
050110 - Fire Vehicles Expenses	\$0	\$6,799	\$0	\$12,833	\$0	\$14,000
0501102300 - Fire Insurance	\$0	\$2,125	\$0	\$1,421	\$0	\$1,550
050115 - Fire Shed Expenses	\$0	\$2,039	\$0	\$1,375	\$0	\$1,500
050125 - Emergency Management (CESM)	\$0	\$1,006	\$0	\$14,667	\$0	\$16,000
0000000000 - Feasibility Study Regional Emergency Facility	\$0	\$0	\$0	\$0	\$0	\$0
0000000000 - Emergency Management Training Facility Amalgamation of Council Land	\$0	\$0	\$0	\$0	\$0	\$0
0501012505 - Admin Allocation - Fire Control	\$0	\$20,931	\$0	\$24,331	\$0	\$26,543
0501012980 - Depn - Fire Control	\$0	\$31,173	\$0	\$34,290	\$0	\$37,407
Sub Total - FIRE PREVENTION OP/EXP	\$0	\$70,410	\$0	\$93,500	\$0	\$102,000
OPERATING INCOME						
0501011515 - Fire Service Grants	(\$36,095)	\$0	(\$20,000)	\$0	(\$20,000)	\$0
0501251095 - FESA Admin Commission	(\$4,000)	\$0	(\$4,000)	\$0	(\$4,000)	\$0
Sub Total - FIRE PREVENTION OP/INC	(\$40,095)	\$0	(\$24,000)	\$0	(\$24,000)	\$0
Total - FIRE PREVENTION	(\$40,095)	\$70,410	(\$24,000)	\$93,500	(\$24,000)	\$102,000
ANIMAL CONTROL						
OPERATING EXPENDITURE						

Shire of Yalgoo

Detailed Statement

Details By function Under The Following Programme Titles

And Type Of Activities Within The Programme

	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
050205 - Animal Control Expenses	\$0	\$4,329	\$0	\$4,319	\$0	\$4,712
0502012505 - Other Animal Control Expenses	\$0	\$0	\$0	\$0	\$0	\$0
0502052695 - Animal Ranger Expenses	\$0	\$20,921	\$0	\$22,000	\$0	\$24,000
0502152695 - Animal Sterilisation Program	\$0	\$0	\$0	\$3,667	\$0	\$4,000
0502012505 - Admin Allocation - Animal Contr	\$0	\$20,931	\$0	\$24,331	\$0	\$26,543
0502012980 - Depn. Animal Control	\$0	\$538	\$0	\$591	\$0	\$645
Sub Total - ANIMAL CONTROL OP/EXP	\$0	\$46,719	\$0	\$54,908	\$0	\$59,900
OPERATING INCOME						
0502011305 - Fines & Penalties	\$0	\$0	\$0	\$0	\$0	\$0
0502011115 - Impounding Fees	\$0	\$0	\$0	\$0	\$0	\$0
0000000000- Other Revenue	\$0	\$0	\$0	\$0	\$0	\$0
0502011080 - Dog Registrations	(\$89)	\$0	(\$200)	\$0	(\$200)	\$0
Sub Total - ANIMAL CONTROL OP/INC	(\$89)	\$0	(\$200)	\$0	(\$200)	\$0
Total - ANIMAL CONTROL	(\$89)	\$46,719	(\$200)	\$54,908	(\$200)	\$59,900
OTHER LAW ORDER & PUBLIC SAFETY						
OPERATING EXPENDITURE						
050305 - Community Safety	\$0	\$186	\$0	\$183	\$0	\$200
0503102695 - MWIRSA LG Road Safety Contribution	\$0	\$0	\$0	\$4,583	\$0	\$5,000
0503012505 - Admin Allocation - Other Law	\$0	\$10,465	\$0	\$12,165	\$0	\$13,271
Sub Total - OTHER LAW ORDER & PUBLIC SAFETY OP/EXP	\$0	\$10,651	\$0	\$16,932	\$0	\$18,471
OPERATING INCOME						
Sub Total - OTHER LAW ORDER & PUBLIC SAFETY OP /INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - OTHER LAW ORDER PUBLIC SAFETY	\$0	\$10,651	\$0	\$16,932	\$0	\$18,471
Total - LAW ORDER & PUBLIC SAFETY	(\$40,184)	\$127,779	(\$24,200)	\$165,340	(\$24,200)	\$180,371
HEALTH						
HEALTH ADMINISTRATION & INSPECTION						
OPERATING EXPENDITURE						
070405 - EHO Consulting	\$0	\$12,426	\$0	\$14,667	\$0	\$16,000
0704102650- Water Sampling Expenses	\$0	\$0	\$0	\$917	\$0	\$1,000
0704052720 - Other Health Admin Expenses	\$0	\$0	\$0	\$275	\$0	\$300
0704012505 - Admin Allocation - Other Health	\$0	\$10,465	\$0	\$12,165	\$0	\$13,271
0704012980 - Depn. - Health Admin. & Inspect	\$0	\$4,425	\$0	\$4,867	\$0	\$5,309
Sub Total - HEALTH ADMIN & INSPECTION OP/EXP	\$0	\$27,316	\$0	\$32,890	\$0	\$35,880
OPERATING INCOME						
0704011105 - Health Inspection Fees and Food Licence Applications	(\$260)	\$0	\$0	\$0	\$0	\$0
0704011190- Septic Tank Fee	\$0	\$0	(\$150)	\$0	(\$150)	\$0
Sub Total - HEALTH ADMIN & INSPECTION OP/INC	(\$260)	\$0	(\$150)	\$0	(\$150)	\$0
Total - HEALTH ADMIN & INSPECTION	(\$260)	\$27,316	(\$150)	\$32,890	(\$150)	\$35,880
MATERNAL AND INFANT HEALTH						
OPERATING EXPENDITURE						
Sub Total - MATERNAL AND INFANT HEALTH	\$0	\$0	\$0	\$0	\$0	\$0
Total - MATERNAL AND INFANT HEALTH	\$0	\$0	\$0	\$0	\$0	\$0
PREVENTIVE SERVICE						

Shire of Yalgoo

Detailed Statement

Details By function Under The Following Programme Titles

And Type Of Activities Within The Programme

	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
OPERATING EXPENDITURE						
070505 - Mosquito Control	\$0	\$2,470	\$0	\$4,583	\$0	\$5,000
0705012505 - Admin Allocated - Prev Services	\$0	\$5,233	\$0	\$6,083	\$0	\$6,636
0705012980 - Depn - Prev Services	\$0	\$23,853	\$0	\$26,239	\$0	\$28,624
Sub Total - PREVENTIVE SRVS - OP/EXP	\$0	\$31,556	\$0	\$36,905	\$0	\$40,260
Total - PREVENTIVE SERVICES	\$0	\$31,556	\$0	\$36,905	\$0	\$40,260
PREVENTIVE SERVICE - OTHER						
OPERATING EXPENDITURE						
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - PREVENTIVE SRVS - OTHER OP/EXP	\$0	\$0	\$0	\$0	\$0	\$0
Total - PREVENTIVE SERVICES - OTHER	\$0	\$0	\$0	\$0	\$0	\$0
OTHER HEALTH						
OPERATING EXPENDITURE						
070705 - Health Centre Maintenance	\$0	\$15,459	\$0	\$14,415	\$0	\$15,725
070710 - Analytical Expenses	\$0	\$180	\$0	\$458	\$0	\$500
070715 - Ambulance Services	\$0	\$799	\$0	\$3,667	\$0	\$4,000
070725 - Dental Services	\$0	\$0	\$0	\$458	\$0	\$500
0707012505 - Other Health Admin Allocation	\$0	\$20,931	\$0	\$24,331	\$0	\$26,543
0707012980 - Depn - Other Health	\$0	\$0	\$0	\$0	\$0	\$0
000000-Additional Nurse Expenses	\$0	\$0		\$45,833	\$0	\$50,000
Sub Total - OTHER HEALTH OP/EXP	\$0	\$37,369	\$0	\$89,162	\$0	\$97,268
OPERATING INCOME						
0707011472 - Reimbursements WACHS	\$0	\$0	(\$15,725)	\$0	(\$15,725)	\$0
Sub Total - OTHER HEALTH OP/INC	\$0	\$0	(\$15,725)	\$0	(\$15,725)	\$0
Total - OTHER HEALTH	\$0	\$37,369	(\$15,725)	\$89,162	(\$15,725)	\$97,268
Total - HEALTH	(\$260)	\$96,241	(\$15,875)	\$158,957	(\$15,875)	\$173,408
EDUCATION & WELFARE						
EDUCATION						
OPERATING EXPENDITURE						
0000000000 - Education Initiative	\$0	\$0	\$0	\$2,292	\$0	\$2,500
0601012505 - Admin Allocation - Other Educat	\$0	\$5,233	\$0	\$6,083	\$0	\$6,636
Sub Total - EDUCATION OP/EXP	\$0	\$5,233	\$0	\$8,375	\$0	\$9,136
Total - EDUCATION	\$0	\$5,233	\$0	\$8,375	\$0	\$9,136
OTHER EDUCATION						
OPERATING EXPENDITURE						
Sub Total - OTHER EDUCATION OP/EXP	\$0	\$0	\$0	\$0	\$0	\$0
Total - OTHER EDUCATION	\$0	\$0	\$0	\$0	\$0	\$0
WELFARE						
OPERATING EXPENDITURE						
0601022720 - Youth and Family Programs	\$0	\$0	\$0	\$0	\$0	\$0
0000000000 - Local Action Group Expenses	\$0	\$0	\$0	\$12,479	\$0	\$13,613
Sub Total - WELFARE OP/EXP	\$0	\$0	\$0	\$12,479	\$0	\$13,613
OPERATING INCOME						
000000 - Government Grant - Local Drug Action Team	\$0	\$0	\$0	\$0	\$0	\$0

Shire of Yalgoo

Detailed Statement

Details By function Under The Following Programme Titles

And Type Of Activities Within The Programme

	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
Sub Total - WELFARE OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - WELFARE	\$0	\$0	\$0	\$12,479	\$0	\$13,613
AGED & DISABLED OTHER						
OPERATING EXPENDITURE						
Sub Total - AGED & DISABLED OTHER OP/EXP	\$0	\$0	\$0	\$0	\$0	\$0
Total - AGED & DISABLED OTHER	\$0	\$0	\$0	\$0	\$0	\$0
Total - EDUCATION & WELFARE	\$0	\$5,233	\$0	\$20,853	\$0	\$22,749
HOUSING						
STAFF HOUSING						
OPERATING EXPENDITURE						
090101 · Staff Housing Expenses	\$0	\$0	\$0	\$0	\$0	\$0
0901012300 · Housing Expenses - Insurance	\$0	\$6,098	\$0	\$7,883	\$0	\$8,600
0000000000 · Housing Expenses - Utilities	\$0	\$0	\$0	\$0	\$0	\$0
0901012805 · Housing Expenses - Utilities - Electricity	\$0	\$5,633	\$0	\$5,958	\$0	\$6,500
0901012820 · Housing Expenses - Utilities - Telephone /Internet	\$0	\$32	\$0	\$0	\$0	\$0
0901012825 · Housing Expenses - Utilities - Water	\$0	\$10,240	\$0	\$13,750	\$0	\$15,000
090105· Housing Expenses - R & M(Including painting)	\$0	\$184,554	\$0	\$115,166	\$0	\$125,636
0000000000 · Housing Expenses - Other	\$0	\$0	\$0	\$0	\$0	\$0
0901012425 · Interest Expense Loan 56	\$0	\$2,060	\$0	\$3,410	\$0	\$3,720
0901012410 · Interest Expense Loan 53	\$0	\$2,200	\$0	\$3,772	\$0	\$4,115
0901012420 · Interest Expense Loan 55	\$0	\$2,971	\$0	\$5,142	\$0	\$5,610
0901012505 · Admin Allocation	\$0	\$31,397	\$0	\$36,497	\$0	\$39,815
0901012980 · Depreciation - Staff Housing	\$0	\$27,439	\$0	\$30,182	\$0	\$32,926
Sub Total - STAFF HOUSING OP/EXP	\$0	\$272,624	\$0	\$221,761	\$0	\$241,921
OPERATING INCOME						
0901011195 · Staff Housing Rental	(\$12,880)	\$0	(\$16,042)	\$0	(\$17,500)	\$0
0901011640 · Reimbursements	\$0	\$0	\$0	\$0	\$0	\$0
0000000000 · Telstra Fund	\$0	\$0	\$0	\$0	\$0	\$0
0000000000 · Grant - 2 Units 17 Shemrock Street	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - STAFF HOUSING OP/INC	(\$12,880)	\$0	(\$16,042)	\$0	(\$17,500)	\$0
Total - STAFF HOUSING	(\$12,880)	\$272,624	(\$16,042)	\$221,761	(\$17,500)	\$241,921
HOUSING OTHER						
OPERATING EXPENDITURE						
0902012505 · Admin Alloc - Other Housing	\$0	\$10,465	\$0	\$12,165	\$0	\$13,271
0902012980 · Depn - Other Housing	\$0	\$28,863	\$0	\$31,750	\$0	\$34,636
Sub Total - HOUSING OTHER OP/EXP	\$0	\$39,328	\$0	\$43,915	\$0	\$47,907
OPERATING INCOME						
0902011620 · Other Housing Rental	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - HOUSING OTHER OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - HOUSING OTHER	\$0	\$39,328	\$0	\$43,915	\$0	\$47,907
Total - HOUSING	(\$12,880)	\$311,952	(\$16,042)	\$265,676	(\$17,500)	\$289,828
COMMUNITY AMENITIES						
SANITATION - HOUSEHOLD REFUSE						
OPERATING EXPENDITURE						
100105 · Household Refuse Collection	\$0	\$27,999	\$0	\$36,667	\$0	\$40,000
100110 · Refuse Site Mainten - Yalgoo	\$0	\$6,289	\$0	\$32,797	\$0	\$35,778
100115 · Refuse Site Mainten - Paynes F	\$0	\$0	\$0	\$1,833	\$0	\$2,000
100120 · Commercial Refuse Collection	\$0	\$8,825	\$0	\$11,000	\$0	\$12,000
1001251170 · Replacement bins	\$0	\$0	\$0	\$1,833	\$0	\$2,000

<i>Shire of Yalgoo</i>						
<i>Detailed Statement</i>						
Details By function Under The Following Programme Titles						
And Type Of Activities Within The Programme						
	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
1001012505 - Admin Allocation - Sanitation	\$0	\$10,465	\$0	\$12,165	\$0	\$13,271
Sub Total - SANITATION HOUSEHOLD REFUSE OP/EXP	\$0	\$53,578	\$0	\$96,295	\$0	\$105,049
OPERATING INCOME						
1001051110 - Household Refuse Remove. Charges	(\$9,500)	\$0	(\$9,500)	\$0	(\$9,500)	\$0
1001201040 - Commercial Refuse Remov Charges	(\$3,250)	\$0	(\$3,250)	\$0	(\$3,250)	\$0
Sub Total - SANITATION H/HOLD REFUSE OP/INC	(\$12,750)	\$0	(\$12,750)	\$0	(\$12,750)	\$0
Total - SANITATION HOUSEHOLD REFUSE	(\$12,750)	\$53,578	(\$12,750)	\$96,295	(\$12,750)	\$105,049
SANITATION OTHER						
OPERATING EXPENDITURE						
Sub Total - SANITATION OTHER OP/EXP	\$0	\$0	\$0	\$0	\$0	\$0
OPERATING INCOME						
Sub Total - SANITATION OTHER OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - SANITATION OTHER	\$0	\$0	\$0	\$0	\$0	\$0
SEWERAGE						
EFFLUENT DRAINAGE SYSTEM						
OPERATING EXPENDITURE						
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - SEWERAGE OP/EXP	\$0	\$0	\$0	\$0	\$0	\$0
OPERATING INCOME						
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - SEWERAGE OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - SEWERAGE	\$0	\$0	\$0	\$0	\$0	\$0
PROTECTION OF THE ENVIRONMENT						
OPERATING EXPENDITURE						
100205 - Removal Abandoned Vehicles	\$0	\$0	\$0	\$250	\$0	\$500
Sub Total - PROTECTION OF THE ENVIRONMENT OP/EXP	\$0	\$0	\$0	\$250	\$0	\$500
OPERATING INCOME						
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - PROTECTION OF THE ENVIRONMENT OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - PROTECTION OF THE ENVIRONMENT	\$0	\$0	\$0	\$250	\$0	\$500
TOWN PLANNING AND REGIONAL DEVELOPMENT						
OPERATING EXPENDITURE						
1006052525 - TP Scheme Expenses	\$0	\$194	\$0	\$4,583	\$0	\$5,000
1006202525 - EHO Consulting	\$0	\$11,238	\$0	\$11,000	\$0	\$12,000
100625 - Yalgoo Revitalisation Planning - Unspent Grant C/fwd	\$0	\$0	\$0	\$18,219	\$0	\$19,875
1006012505 - Admin Allocation - Town Plannin	\$0	\$10,465	\$0	\$12,165	\$0	\$13,271
Sub Total - TOWN PLAN & REG DEV OP/EXP	\$0	\$21,897	\$0	\$45,967	\$0	\$50,146
OPERATING INCOME						
1006011205 - Town Planning Fees	(\$1,584)	\$0	\$0	\$0	\$0	\$0
Sub Total - TOWN PLAN & REG DEV OP/INC	(\$1,584)	\$0	\$0	\$0	\$0	\$0

<i>Shire of Yalgoo</i>						
<i>Detailed Statement</i>						
Details By function Under The Following Programme Titles						
And Type Of Activities Within The Programme						
	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
Total - TOWN PLANNING & REGIONAL DEVELOPMENT	(\$1,584)	\$21,897	\$0	\$45,967	\$0	\$50,146
OTHER COMMUNITY AMENITIES						
OPERATING EXPENDITURE						
100705 - Cemetery Expenses	\$0	\$2,388	\$0	\$2,461	\$0	\$2,685
100710 - Public Conveniences	\$0	\$23,163	\$0	\$42,348	\$0	\$46,198
100715 - Community Bus Expenses	\$0	\$13,382	\$0	\$6,572	\$0	\$7,169
100720 - Vacant Land Development/Mtce	\$0	\$0	\$0	\$1,833	\$0	\$2,000
1007012415 - Interest Expenditure - Loan 54	\$0	\$2,262	\$0	\$2,073	\$0	\$2,262
1007012505 - Admin Allocation - Other Commun	\$0	\$20,930	\$0	\$24,331	\$0	\$26,543
1007012980 - Depn - Other Community Services	\$0	\$14,852	\$0	\$16,338	\$0	\$17,823
Sub Total - OTHER COMMUNITY AMENITIES OP/EXP	\$0	\$76,977	\$0	\$95,957	\$0	\$104,680
OPERATING INCOME						
1007051035 - Cemetery Fees	(\$2,400)	\$0	(\$500)	\$0	(\$500)	\$0
1007151055 - Community Bus Hire	(\$1,021)	\$0	(\$1,000)	\$0	(\$1,000)	\$0
Sub Total - OTHER COMMUNITY AMENITIES OP/INC	(\$3,421)	\$0	(\$1,500)	\$0	(\$1,500)	\$0
Total - OTHER COMMUNITY AMENITIES	(\$3,421)	\$76,977	(\$1,500)	\$95,957	(\$1,500)	\$104,680
URBAN STORMWATER DRAINAGE						
OPERATING EXPENDITURE						
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - URBAN STORMWATER DRAINAGE OP/EXP	\$0	\$0	\$0	\$0	\$0	\$0
Total - URBAN STORMWATER DRAINAGE	\$0	\$0	\$0	\$0	\$0	\$0
Total - COMMUNITY AMENITIES	(\$17,755)	\$152,451	(\$14,250)	\$238,469	(\$14,250)	\$260,375
RECREATION & CULTURE						
PUBLIC HALL & CIVIC CENTRES						
OPERATING EXPENDITURE						
110105 - Yalgoo Hall Expenses	\$0	\$9,165	\$0	\$22,000	\$0	\$24,000
000000 - Consultancy Fees -Yalgoo Hall Study - Scope of Works	\$0	\$10,315	\$0	\$23,492	\$0	\$25,628
1101012505 - Admin Allocation - Public Halls	\$0	\$52,328	\$0	\$60,828	\$0	\$66,358
1101012980 - Depn - Public Halls	\$0	\$11,835	\$0	\$13,019	\$0	\$14,202
Sub Total - PUBLIC HALLS & CIVIC CENTRES OP/EXP	\$0	\$83,643	\$0	\$119,339	\$0	\$130,188
OPERATING INCOME						
1101051100 - Hall Hire	(\$365)	\$0	\$0	\$0	\$0	\$0
0000000000 Contribution - Yalgoo Hall Renovations - Lotterywest	\$0	\$0	(\$300,000)	\$0	(\$300,000)	\$0
Sub Total - PUBLIC HALLS & CIVIC CENTRES OP/INC	(\$365)	\$0	(\$300,000)	\$0	(\$300,000)	\$0
Total - PUBLIC HALL & CIVIC CENTRES	(\$365)	\$83,643	(\$300,000)	\$119,339	(\$300,000)	\$130,188
OTHER RECREATION & SPORT						
OPERATING EXPENDITURE						
110310 - Community Park Gibbon St	\$0	\$13,544	\$0	\$16,296	\$0	\$17,777
110315- Shamrock St Park	\$0	\$45,142	\$0	\$10,268	\$0	\$11,201
110320 - Old Railway Station grounds	\$0	\$91,352	\$0	\$53,704	\$0	\$58,586
110325 - Old Railway Station building	\$0	\$11,341	\$0	\$14,850	\$0	\$16,200
110330 - Paynes Find Complex Expenses	\$0	\$4,144	\$0	\$34,398	\$0	\$37,525
110335 - Tennis Courts	\$0	\$1,301	\$0	\$2,047	\$0	\$2,233
110340 - Yalgoo Hub - Covered Sports	\$0	\$4,307	\$0	\$7,333	\$0	\$8,000
110376 - Rifle Range	\$0	\$846	\$0	\$1,522	\$0	\$1,660
110350 - Yalgoo Golf Course	\$0	\$322	\$0	\$3,212	\$0	\$3,504
110375 - Men's Shed	\$0	\$1,377	\$0	\$852	\$0	\$929
110370 - Water Park Mtce	\$0	\$30,122	\$0	\$22,372	\$0	\$24,406

Shire of Yalgoo

Detailed Statement

Details By function Under The Following Programme Titles

And Type Of Activities Within The Programme

	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
110380 - Community Oval and Pavilion	\$0	\$83,757	\$0	\$48,491	\$0	\$52,899
1103012505 - Admin Allocation - Other Recrea	\$0	\$52,328	\$0	\$60,828	\$0	\$66,358
1103012980 - Depn - Other Recreation	\$0	\$145,595	\$0	\$160,155	\$0	\$174,714
Sub Total - OTHER RECREATION & SPORT OP/EXP	\$0	\$485,478	\$0	\$436,326	\$0	\$475,992
OPERATING INCOME						
1103251135 - Old Railway Station Hire	(\$68)	\$0	\$0	\$0	\$0	\$0
0000000000 - Core Stadium Hire	(\$136)	\$0	\$0	\$0	\$0	\$0
1103301140 - Paynes Find Complex Hire	(\$136)	\$0	\$0	\$0	\$0	\$0
0000000000 - Grant s - Community/School Oval Development	\$0	\$0	\$0	\$0	\$0	\$0
0000000000 - Grant - Community Pool Revitalisation	\$0	\$0	\$0	\$0	\$0	\$0
0000000000 - Grant - Community Oval Development - Pavilion Fitout	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - OTHER RECREATION & SPORT OP/INC	(\$340)	\$0	\$0	\$0	\$0	\$0
Total - OTHER RECREATION & SPORT	(\$340)	\$485,478	\$0	\$436,326	\$0	\$475,992
TV AND RADIO BROADCASTING						
OPERATING EXPENDITURE						
110405 - Rebroadcasting Licences	\$0	\$41	\$0	\$917	\$0	\$1,000
1104102695 - Rebroadcasting Mats/Contr	\$0	\$1,084	\$0	\$3,667	\$0	\$4,000
110415 - Rebroadcasting Equip Mtce	\$0	\$66	\$0	\$917	\$0	\$1,000
1104012505 - Admin Allocated - TV	\$0	\$5,233	\$0	\$6,083	\$0	\$6,636
Sub Total - TV AND RADIO BROADCASTING OP/EXP	\$0	\$6,424	\$0	\$11,583	\$0	\$12,636
OPERATING INCOME						
1104011640-Reimbursements	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - TV AND RADIO BROADCASTING OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - TV AND RADIO BROADCASTING OP/INC	\$0	\$6,424	\$0	\$11,583	\$0	\$12,636
LIBRARIES						
OPERATING EXPENDITURE						
1105052600 - Freight & Post (Books)	\$0	\$665	\$0	\$688	\$0	\$750
1105052720 - Library Other Expenses	\$0	\$118	\$0	\$2,292	\$0	\$2,500
1105052505 - Admin Allocation - Libraries	\$0	\$52,328	\$0	\$60,828	\$0	\$66,358
Sub Total - LIBRARIES OP/EXP	\$0	\$53,111	\$0	\$63,807	\$0	\$69,608
OPERATING INCOME						
	\$0	\$0	\$0	\$0	\$0	\$0
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - LIBRARIES OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - LIBRARIES	\$0	\$53,111	\$0	\$63,807	\$0	\$69,608
OTHER CULTURE						
OPERATING EXPENDITURE						
110605 - Municipal heritage Inventory	\$0	\$0	\$0	\$458	\$0	\$500
110610 - Celebration	\$0	\$2,897	\$0	\$12,375	\$0	\$13,500
1106012505 - Admin Allocated Other Culture	\$0	\$10,465	\$0	\$12,165	\$0	\$13,271
110705 - Museum/Gaol Expenses (Including additional Mtce)	\$0	\$2,930	\$0	\$5,005	\$0	\$5,460
110710 - Chapel Expenses	\$0	\$2,375	\$0	\$4,082	\$0	\$4,453
110740 - Old Anglican Church	\$0	\$557	\$0	\$4,127	\$0	\$4,502
110615 - Art Centre Operations and Projects	\$0	\$92,404	\$0	\$137,096	\$0	\$149,559
1107012505 - Admin Alloc - Other Heritage	\$0	\$15,698	\$0	\$18,249	\$0	\$19,908
1107012980 - Depn Other Heritage	\$0	\$5,542	\$0	\$6,096	\$0	\$6,650
0000000000 - Heritage Signs Replacement	\$0	\$0	\$0	\$4,583	\$0	\$5,000
0000000000 - Heritage Advisory Service	\$0	\$0	\$0	\$2,750	\$0	\$3,000
Sub Total - OTHER CULTURE OP/EXP	\$0	\$132,868	\$0	\$206,986	\$0	\$225,803
OPERATING INCOME						
1107011175 - Sale of History Books	(\$210)	\$0	(\$183)	\$0	(\$200)	\$0

Shire of Yalgoo

Detailed Statement

Details By function Under The Following Programme Titles

And Type Of Activities Within The Programme

	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
1106151178 - Sales Arts and Cultural Centre	(\$2,015)	\$0	(\$3,208)	\$0	(\$3,500)	\$0
1107051220 - Chapel & Museum Fees	(\$601)	\$0	(\$917)	\$0	(\$1,000)	\$0
0000000000 - Other Revenue	(\$3,000)	\$0	\$0	\$0	\$0	\$0
Sub Total - OTHER CULTURE OP/INC	(\$5,826)	\$0	(\$4,308)	\$0	(\$4,700)	\$0
Total - OTHER CULTURE	(\$5,826)	\$132,868	(\$4,308)	\$206,986	(\$4,700)	\$225,803
Total - RECREATION AND CULTURE	(\$6,531)	\$761,522	(\$304,308)	\$838,041	(\$304,700)	\$914,227
TRANSPORT						
STREETS, RD, BRIDGES, DEPOT - CONSTRUCTION						
OPERATING EXPENDITURE						
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - ST,RDS,BRIDGES,DEPOT-CONST OP/EXP	\$0	\$0	\$0	\$0	\$0	\$0
OPERATING INCOME						
1201011435 - RRGP Grants Yalgoo- Ninghan	(\$80,000)	\$0	(\$200,000)	\$0	(\$200,000)	\$0
1201011440- RRGP Grants 2015-16 Yalgoo- Ninghan	\$0	\$0	\$0	\$0	\$0	\$0
1201011560 - MRWA Direct Grants	(\$81,098)	\$0	(\$89,208)	\$0	(\$89,208)	\$0
1201011430 - Roads to Recovery Grants - Yalgoo-Morawa	(\$252,293)	\$0	(\$380,000)	\$0	(\$380,000)	\$0
1201011415 - Road Agreements Income - EMR GOLDEN GROVE	\$0	\$0	(\$151,200)	\$0	(\$151,200)	\$0
1201011420- Road Agreements Income - Doray Minerals Deflector Gold Mo-Ya Rd	(\$6,022)	\$0	(\$2,816)	\$0	(\$2,816)	\$0
000000000- Grant DFES - Flood Damage AGRN 903	(\$170,358)	\$0	\$0	\$0	\$0	\$0
Sub Total - ST,RDS,BRIDGES,DEPOT - CONST OP/INC	(\$589,771)	\$0	(\$823,224)	\$0	(\$823,224)	\$0
Total - ST,RDS,BRIDGES,DEPOT - CONST	(\$589,771)	\$0	(\$823,224)	\$0	(\$823,224)	\$0
STREETS,ROADS, BRIDGES, DEPOTS - MAINTENANCE						
OPERATING EXPENDITURE						
120105 - Town Streets Maintenance	\$0	\$83,872	\$0	\$112,268	\$0	\$122,474
120101 - Road Maintenance General	\$0	\$0	\$0	\$0	\$0	\$0
120110 - Footpaths/Crossover Mtce	\$0	\$0	\$0	\$917	\$0	\$1,000
120111 - Lighting of Streets	\$0	\$8,504	\$0	\$7,792	\$0	\$8,500
120113 - Street Trees & Watering	\$0	\$11,181	\$0	\$10,065	\$0	\$10,980
120125- Signs Repairs /Replacement	\$0	\$957	\$0	\$9,167	\$0	\$10,000
120126 - Street Sweeping	\$0	\$0	\$0	\$0	\$0	\$0
120129-Grid Cleaning	\$0	\$0	\$0	\$6,875	\$0	\$7,500
120127 - Vegation/Weed Control	\$0	\$214	\$0	\$7,919	\$0	\$8,639
120130 - Road Inspection After Rain	\$0	\$6,258	\$0	\$2,133	\$0	\$2,327
120150 - Engineering	\$0	\$5,154	\$0	\$13,750	\$0	\$15,000
120155 - Rural Road Maintenance	\$0	\$579,011	\$0	\$1,295,321	\$0	\$1,413,077
120156 - Roman Expenses	\$0	\$6,327	\$0	\$5,800	\$0	\$6,327
1201012505 - Admin Allocation - Roads	\$0	\$52,328	\$0	\$60,828	\$0	\$66,358
1201012980 - Depreciation - Transport Other	\$0	\$518,406	\$0	\$570,246	\$0	\$622,087
120128 - Repair Damged Grids	\$0	\$0	\$0	\$9,167	\$0	\$10,000
000000 - Flood Damage DFES Grant expenditure	\$0	\$86,086	\$0	\$0	\$0	\$0
Sub Total - MTCE STREETS ROADS DEPOTS OP/EXP	\$0	\$1,358,298	\$0	\$2,112,247	\$0	\$2,304,269
OPERATING INCOME						
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - MTCE STREETS ROADS DEPOTS OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - MTCE STREETS ROADS DEPOTS	\$0	\$1,358,298	\$0	\$2,112,247	\$0	\$2,304,269
AERODROME						
OPERATING EXPENDITURE						
120205 - Yalgoo Airstrip	\$0	\$17,795	\$0	\$7,333	\$0	\$8,000
120210 - Paynes Find Airstrips	\$0	\$5,876	\$0	\$10,083	\$0	\$11,000
120215 - Emergency Airstrips	\$0	\$0	\$0	\$2,750	\$0	\$3,000
1206012505 - Admin Allocation - Aerodromes	\$0	\$10,465	\$0	\$12,165	\$0	\$13,271

Shire of Yalgoo

Detailed Statement

Details By function Under The Following Programme Titles

And Type Of Activities Within The Programme

	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
1206012980 - Depn - Aerodromes	\$0	\$39,227	\$0	\$43,150	\$0	\$47,073
Sub Total - AERODROME OP/EXP	\$0	\$73,363	\$0	\$75,482	\$0	\$82,344
OPERATING INCOME						
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - AERODROME OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - AERODROME OP/EXP	\$0	\$73,363	\$0	\$75,482	\$0	\$82,344
Total - TRANSPORT	(\$589,771)	\$1,431,660	(\$823,224)	\$2,187,729	(\$823,224)	\$2,386,613
ECONOMIC SERVICES						
RURAL SERVICES						
OPERATING EXPENDITURE						
130110 - Vermin Control - MRVC Annual Contribution	\$0	\$31,871	\$0	\$29,215	\$0	\$31,871
000000 - Vermin Control - MRVC Vermin Cell Fence Construction	\$0	\$0	\$0	\$199,833	\$0	\$218,000
000000- Noxious Weeds ,Plants and Pests	\$0	\$8,068	\$0	\$0	\$0	\$0
1301012505 - Admin Allocated	\$0	\$20,931	\$0	\$24,331	\$0	\$26,543
130176 - Wild Dog Bounty	\$0	\$220	\$0	\$9,167	\$0	\$10,000
000000 - Vermin Control - Vermin Cell Fence Drought Grant	\$0	\$57,549	\$0	\$52,753	\$0	\$57,549
Sub Total - RURAL SERVICES OP/EXP	\$0	\$118,639	\$0	\$315,299	\$0	\$343,963
OPERATING INCOME						
	\$0	\$0	\$0	\$0	\$0	\$0
130110551 - Grant - Drought Vermin Cell fence	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - RURAL SERVICES OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - RURAL SERVICES	\$0	\$118,639	\$0	\$315,299	\$0	\$343,963
TOURISM AND AREA PROMOTION						
OPERATING EXPENDITURE						
1302052000 - C'van Park - Salaries & Wages	\$0	\$134,147	\$0	\$62,970	\$0	\$68,695
0000000000- Caravan Park Accrued Leave Expenses	\$0	\$0	\$0	\$492	\$0	\$537
0000000000- Caravan Park- Superannuation	\$0	\$11,634	\$0	\$9,131	\$0	\$9,961
1302052120 - C'van Park - Staff Training	\$0	\$350	\$0	\$1,833	\$0	\$2,000
0000000000- Caravan Park Workers Comp Insurance	\$0	\$0	\$0	\$2,040	\$0	\$2,225
130204 - C'van Park - CVP House exp	\$0	\$17,885	\$0	\$2,475	\$0	\$2,700
130205 - Caravan Park Expenditure	\$0	\$124,663	\$0	\$128,279	\$0	\$139,941
130201 - Tourism Promotion (incl Outback Parkways and Geo Park)	\$0	\$19,893	\$0	\$32,083	\$0	\$35,000
130208 - Tourism Signage	\$0	\$991	\$0	\$0	\$0	\$0
130209 - Town Entry Statements (Mtce)	\$0	\$2,223	\$0	\$4,161	\$0	\$4,539
130210 - Website Development Expenses	\$0	\$0	\$0	\$4,125	\$0	\$4,500
130211 - Regional Tourism Project Unspent Grant and Member Shire C	\$0	\$0	\$0	\$9,245	\$0	\$10,085
1302332000 - Wurarga Dam	\$0	\$0	\$0	\$0	\$0	\$0
130225 - Centrecare support	\$0	\$0	\$0	\$0	\$0	\$0
130226 - Emu Cup event	\$0	\$14,010	\$0	\$45,833	\$0	\$50,000
000000 -Goods For Resale- Arts and Crafts Centre	\$0	\$0	\$0	\$0	\$0	\$0
130227 - Yalgoo Racetrack Expenses	\$0	\$7,784	\$0	\$3,108	\$0	\$3,391
130228 - Yalgoo Gymkhana Expenses	\$0	\$0	\$0	\$0	\$0	\$0
000000 - Yalgoo Races Contribution	\$0	\$0	\$0	\$9,167	\$0	\$10,000
130229 - Jokers Tunnel Expenses	\$0	\$1,863	\$0	\$1,394	\$0	\$1,521
130230 - Yalgoo Lookout Expenses	\$0	\$971	\$0	\$1,775	\$0	\$1,936
130231 - Banners in the Terrace	\$0	\$0	\$0	\$3,208	\$0	\$3,500
1302502000 - HCP Salaries and Wages	\$0	\$90,637	\$0	\$89,085	\$0	\$97,184
130250 - HCP Accrued Leave Expenses	\$0	\$0	\$0	\$2,668	\$0	\$2,910
130250. -HCP Superannuation	\$0	\$7,533	\$0	\$8,464	\$0	\$9,233
130250- Insurance Workers Comp	\$0	\$0	\$0	\$1,833	\$0	\$2,000
1302502120 - HCP Staff & Training Expenses	\$0	(\$5)	\$0	\$2,750	\$0	\$3,000
130251 - HCP Project Activity Expenses	\$0	\$45,267	\$0	\$55,000	\$0	\$60,000
12 02 52 - HCP Vehicle YA800	\$0	\$4,328	\$0	\$8,250	\$0	\$9,000
130254 - HCP Office Materials & Contract	\$0	\$6,857	\$0	\$3,667	\$0	\$4,000
130255 - HCP Office Equipment	\$0	\$1,033	\$0	\$917	\$0	\$1,000
130258 - HCP Camps and Trip Expenses	\$0	\$311	\$0	\$0	\$0	\$0
130259 - HCP Sponsored Activity expenses	\$0	\$0	\$0	\$0	\$0	\$0
130260 - HCP Other Activites	\$0	\$145	\$0	\$0	\$0	\$0
1302012505 - Admin Allocated - Tourism	\$0	\$52,314	\$0	\$60,813	\$0	\$66,341
1302012980 - Depn - Tourism	\$0	\$48,950	\$0	\$53,844	\$0	\$58,739
Sub Total - TOURISM & AREA PROMOTION OP/EXP	\$0	\$593,784	\$0	\$608,610	\$0	\$663,938

<i>Shire of Yalgoo</i>						
<i>Detailed Statement</i>						
Details By function Under The Following Programme Titles						
And Type Of Activities Within The Programme						
	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
OPERATING INCOME						
1302261090 - Emu Cup funding	(\$20,400)	\$0	(\$25,000)	\$0	(\$25,000)	\$0
1302501540 - Contribution HCP	(\$1,100)	\$0	\$0	\$0	\$0	\$0
1302051025 - Caravan Park Revenues	(\$164,690)	\$0	(\$110,000)	\$0	(\$120,000)	\$0
1302011200- Tourism Sales	(\$1,498)	\$0	(\$458)	\$0	(\$500)	\$0
0000000000- Prospecting Permits	(\$1,284)	\$0	(\$275)	\$0	(\$300)	\$0
			\$0			
1302501541- Healthy Community Mining Co Con -MMG Centrecare \$32,400 and HCP \$21,600	\$0	\$0	(\$54,000)	\$0	(\$54,000)	\$0
1302011595 - Community Projects Mining Contr - Mt Gibson \$40,000 HC	\$0	\$0	(\$40,000)	\$0	(\$40,000)	\$0
Sub Total - TOURISM & AREA PROMOTION OP/INC	(\$188,972)	\$0	(\$229,733)	\$0	(\$239,800)	\$0
Total - TOURISM & AREA PROMOTION	(\$188,972)	\$593,784	(\$229,733)	\$608,610	(\$239,800)	\$663,938
BUILDING CONTROL						
OPERATING EXPENDITURE						
1303012720 - Building Control Expenses	\$0	\$0	\$0	\$1,375	\$0	\$1,500
1303012550 - EHO Consulting Costs	\$0	\$13,358	\$0	\$12,833	\$0	\$14,000
1303012505 - Admin Allocated Building Contro	\$0	\$10,465	\$0	\$12,165	\$0	\$13,271
Sub Total - BUILDING CONTROL OP/EXP	\$0	\$23,823	\$0	\$26,373	\$0	\$28,771
OPERATING INCOME						
1303011020 - Building Permits	\$420	\$0	(\$500)	\$0	(\$500)	\$0
1303011022 - BCITF & BSL Fees to Shire	(\$12)	\$0	(\$10)	\$0	(\$10)	\$0
Sub Total - BUILDING CONTROL OP/INC	\$408	\$0	(\$510)	\$0	(\$510)	\$0
Total - BUILDING CONTROL	\$408	\$23,823	(\$510)	\$26,373	(\$510)	\$28,771
ECONOMIC DEVELOPMENT						
OPERATING EXPENDITURE						
Sub Total - ECONOMIC DEVELOPMENT OP/EXP	\$0	\$0	\$0	\$0	\$0	\$0
OPERATING INCOME						
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - ECONOMIC DEVELOPMENT OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - ECONOMIC DEVELOPMENT	\$0	\$0	\$0	\$0	\$0	\$0
OTHER ECONOMIC SERVICES						
OPERATING EXPENDITURE						
13060 - Fuel Station						
1306012565 - Licences/Permits	\$0	\$0	\$0	\$917	\$0	\$1,000
1306012720 - Other Expenses	\$0	\$2,012	\$0	\$2,401	\$0	\$2,619
1306012505 - Admin Allocated Fuel Station	\$0	\$10,465	\$0	\$12,165	\$0	\$13,271
1308012505 - Admin Allocated-Other Econ Dev	\$0	\$10,465	\$0	\$12,165	\$0	\$13,271
Sub Total - OTHER ECONOMIC SERVICES OP/EXP	\$0	\$22,942	\$0	\$27,648	\$0	\$30,161
OPERATING INCOME						
1306011120 - Fuel Station Lease Income	\$0	\$0	(\$5,958)	\$0	(\$6,500)	\$0
1306011185 - Sale of Stock	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - OTHER ECONOMIC SERVICES OP/INC	\$0	\$0	(\$5,958)	\$0	(\$6,500)	\$0
Total - OTHER ECONOMIC SERVICES	\$0	\$22,942	(\$5,958)	\$27,648	(\$6,500)	\$30,161
Total - ECONOMIC SERVICES	(\$188,564)	\$759,187	(\$236,202)	\$977,930	(\$246,810)	\$1,066,833
OTHER PROPERTY AND SERVICES						

<i>Shire of Yalgoo</i>						
<i>Detailed Statement</i>						
Details By function Under The Following Programme Titles						
And Type Of Activities Within The Programme						
	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
PRIVATE WORKS						
OPERATING EXPENDITURE						
140101 - Private Works Expenses	\$0	\$2,654	\$0	\$0	\$0	\$0
1401012505 - Admin Allocation - Private Work	\$0	\$10,465	\$0	\$12,165	\$0	\$13,271
Sub Total - PRIVATE WORKS OP/EXP	\$0	\$13,119	\$0	\$12,165	\$0	\$13,271
OPERATING INCOME						
1401011150 - Private Works Charges	(\$4,599)	\$0	\$0	\$0	\$0	\$0
Sub Total - PRIVATE WORKS OP/INC	(\$4,599)	\$0	\$0	\$0	\$0	\$0
Total - PRIVATE WORKS	(\$4,599)	\$13,119	\$0	\$12,165	\$0	\$13,271
PUBLIC WORKS OVERHEADS						
OPERATING EXPENDITURE						
1403012000 - PWO Wages Costs	\$0	\$150,287	\$0	\$137,899	\$0	\$150,435
1403012005 - Sick Leave	\$0	\$21,775	\$0	\$24,866	\$0	\$27,127
1403012010 - Annual Leave	\$0	\$93,916	\$0	\$69,889	\$0	\$76,242
1403012020 - Public Holidays	\$0	\$17,805	\$0	\$29,840	\$0	\$32,553
1403012025 - Accrued Leave Expenses	\$0	\$0	\$0	\$24,096	\$0	\$26,286
1403012040 - Superannuation	\$0	\$87,377	\$0	\$101,990	\$0	\$111,262
1403012030 - Wages Allowances	\$0	\$2,056	\$0	\$2,750	\$0	\$3,000
1403012125 - Staff Training	\$0	\$16,856	\$0	\$9,167	\$0	\$10,000
1403012075 - Protective Clothing	\$0	\$5,291	\$0	\$5,500	\$0	\$6,000
1403012125 - Travel & Accommodation	\$0	\$1,756	\$0	\$6,875	\$0	\$7,500
140305- Depot Mtce (Works) Expenses	\$0	\$45,800	\$0	\$65,137	\$0	\$71,058
140310 - Depot Mtce (P&G) Expenses	\$0	\$12,875	\$0	\$16,500	\$0	\$18,000
140325 - PWO Vehicle Expenses	\$0	\$13,903	\$0	\$22,000	\$0	\$24,000
140330 - OH & S	\$0	\$1,417	\$0	\$5,958	\$0	\$6,500
1403452620 - Tools Replaced	\$0	\$909	\$0	\$2,750	\$0	\$3,000
1403502640- Traffic Management Signs	\$0	\$0	\$0	\$9,167	\$0	\$10,000
1403012300 - Insurance on Works	\$0	\$610	\$0	\$2,567	\$0	\$2,800
1403552815 - Satellite phones	\$0	\$4,826	\$0	\$3,025	\$0	\$3,300
1403602080 - Recruitment expenses/relocation	\$0	\$4,500	\$0	\$5,500	\$0	\$6,000
1403652065 - Fitness for Work	\$0	\$120	\$0	\$1,375	\$0	\$1,500
1403252720- Other PWOH Expenses	\$0	\$32	\$0	\$1,375	\$0	\$1,500
1403012310 - Works Workers Compen. Insurance	\$0	\$21,280	\$0	\$23,126	\$0	\$25,228
1403012505 - Admin Allocated	\$0	\$63,085	\$0	\$73,333	\$0	\$80,000
1403752720 - LESS PWOH ALLOCATED-PROJECTS	\$0	(\$426,406)	\$0	(\$644,683)	\$0	(\$703,291)
Sub Total - PUBLIC WORKS O/HEADS OP/EXP	\$0	\$140,070	\$0	\$0	\$0	\$0
OPERATING INCOME						
1403011640 - Reimbursements	(\$430)	\$0	\$0	\$0	\$0	\$0
Sub Total - PUBLIC WORKS O/HEADS OP/INC	(\$430)	\$0	\$0	\$0	\$0	\$0
Total - PUBLIC WORKS OVERHEADS	(\$430)	\$140,070	\$0	\$0	\$0	\$0
PLANT OPERATION COSTS						
OPERATING EXPENDITURE						
1404012585 - Fuel & Oil	\$0	\$95,385	\$0	\$160,417	\$0	\$175,000
1404192595 - Tyres & Tubes	\$0	\$10,654	\$0	\$11,000	\$0	\$12,000
1404 12590 - Parts & Repairs	\$0	\$57,171	\$0	\$123,750	\$0	\$135,000
1404012582 - Insurance (Reg/Ins)	\$0	\$66,271	\$0	\$55,000	\$0	\$60,000
1404012000 - Other POC Expenses	\$0	\$951	\$0	\$14,559	\$0	\$15,883
1404012580 - Blades & Tynes	\$0	\$13,312	\$0	\$7,333	\$0	\$8,000
1404012582 - Licensing (Reg/Ins)	\$0	\$7,803	\$0	\$9,167	\$0	\$10,000
1404012625 - Survey and Microcom Equipment	\$0	\$0	\$0	\$4,583	\$0	\$5,000
1404012655 - Workshop consumables	\$0	\$18,055	\$0	\$20,167	\$0	\$22,000
1404012620 - Replacement tools	\$0	\$264	\$0	\$1,375	\$0	\$1,500
1404012505 - Admin Alloc - POC	\$0	\$53,623	\$0	\$62,333	\$0	\$68,000
1404012980 - Plant Depreciation	\$0	\$99,602	\$0	\$109,563	\$0	\$119,523
1404052720 - LESS POC ALLOCATED-PROJECTS	\$0	(\$297,002)	\$0	(\$579,247)	\$0	(\$631,906)
Sub Total - PLANT OPERATIONS COSTS OP/EXP	\$0	\$126,089	\$0	\$0	\$0	\$0
OPERATING INCOME						

Shire of Yalgoo

Detailed Statement

Details By function Under The Following Programme Titles

And Type Of Activities Within The Programme

	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
1404011180 - Charges - Sale of Scrap	\$0	\$0	(\$1,000)	\$0	(\$1,000)	\$0
1404011640 - Reimbursements (Fuel Credits ,Etc)	\$0	\$0	(\$30,000)	\$0	(\$30,000)	\$0
1404011625 - Plant & Equipment Hire	\$0	\$0	\$0	\$0	\$0	\$0
Total - PLANT OPERATIONS COSTS	\$0	\$126,089	(\$31,000)	\$0	(\$31,000)	\$0
ADMINISTRATION						
OPERATING EXPENDITURE						
1405012000 - Salaries & Wages	\$0	\$417,769	\$0	\$472,686	\$0	\$515,657
1405012030 - Wages Allowances	\$0	\$1,786	\$0	\$1,833	\$0	\$2,000
1405012034 - Salary Package Allowance	\$0	\$0	\$0	\$0	\$0	\$0
1405012040 - Superannuation	\$0	\$51,317	\$0	\$29,376	\$0	\$32,047
1405012155 - LSL and AL accrual	\$0	\$0	\$0	\$7,900	\$0	\$8,618
1405102095 - Staff Amenities	\$0	\$734	\$0	\$1,375	\$0	\$1,500
1405012105- Staff Uniforms	\$0	\$973	\$0	\$2,750	\$0	\$3,000
1405012080 - Recruitment Expenses	\$0	\$3,622	\$0	\$9,167	\$0	\$10,000
140501 - Admin Relocation Expenses	\$0	\$0	\$0	\$0	\$0	\$0
140501 - Fitness for Work	\$0	\$0	\$0	\$0	\$0	\$0
1405012120 - Staff Training	\$0	\$3,700	\$0	\$9,167	\$0	\$10,000
1405012055 - Advertising	\$0	\$2,712	\$0	\$4,583	\$0	\$5,000
1405012600 - Postage and Freight	\$0	\$1,770	\$0	\$3,208	\$0	\$3,500
1405012605 - Printing & Stationery	\$0	\$4,502	\$0	\$4,583	\$0	\$5,000
1405012725 - Subscriptions	\$0	\$23,644	\$0	\$22,000	\$0	\$24,000
1405012520 - Computer Mtce/Support	\$0	\$70,720	\$0	\$41,250	\$0	\$45,000
1405012570 - Office Equip Mtce	\$0	\$22,107	\$0	\$20,167	\$0	\$22,000
1405012125 - Travel & Accommodation	\$0	\$1,054	\$0	\$4,583	\$0	\$5,000
1405012535 - Conference Expenses	\$0	\$228	\$0	\$13,750	\$0	\$15,000
140501 - Vehicle Expenses	\$0	\$5,069	\$0	\$16,042	\$0	\$17,500
1405012045 - Admin VRE (FBT)	\$0	\$0	\$0	\$55,000	\$0	\$60,000
1405012515 - Audit Fees	\$0	\$2,150	\$0	\$34,833	\$0	\$38,000
1405012525 - Consultancy	\$0	\$79,262	\$0	\$103,583	\$0	\$113,000
1405012560 - Legal Expenses	\$0	\$46,702	\$0	\$36,667	\$0	\$40,000
140505 - Administration Building Mtce	\$0	\$9,146	\$0	\$20,442	\$0	\$22,300
140510 - Human Resource Management	\$0	\$0	\$0	\$2,292	\$0	\$2,500
1405152525 - OH & S Admin	\$0	\$0	\$0	\$3,208	\$0	\$3,500
1405012805 - Electricity	\$0	\$7,702	\$0	\$13,750	\$0	\$15,000
1405012820 - Telephone-Internet	\$0	\$49,922	\$0	\$36,667	\$0	\$40,000
1405012300 - Insurance	\$0	\$78,652	\$0	\$55,000	\$0	\$60,000
1405012515 - Bank Charges	\$0	\$8,478	\$0	\$9,167	\$0	\$10,000
1405012720 - Expenses Other	\$0	\$13,630	\$0	\$6,417	\$0	\$7,000
0000000000 - Bad Debts Expense	\$0	\$0	\$0	\$2,750	\$0	\$3,000
1405012825 - Water	\$0	\$1,702	\$0	\$458	\$0	\$500
140525 - Admin Vehicle	\$0	\$8,110	\$0	\$9,167	\$0	\$10,000
140501- Record Management	\$0	\$393	\$0	\$27,500	\$0	\$30,000
140501 - Financial Software -Licence OZONE	\$0	\$50,000	\$0	\$45,833	\$0	\$50,000
1405012980 - Depn - Administration General	\$0	\$38,703	\$0	\$42,573	\$0	\$46,443
1405302720 - LESS ADMIN ALLOCATED-PROGRAMS	\$0	(\$1,006,259)	\$0	(\$1,169,726)	\$0	(\$1,276,065)
Sub Total - ADMINISTRATION OP/EXP	\$0	\$0	\$0	\$0	\$0	\$0
OPERATING INCOME						
1405011640 - Reimbursements	(\$50)	\$0	(\$4,583)	\$0	(\$5,000)	\$0
1405011145 - Photocopies & Facsimiles	(\$662)	\$0	(\$46)	\$0	(\$50)	\$0
1405011045 - Commissions - Transport	(\$3,126)	\$0	(\$1,833)	\$0	(\$2,000)	\$0
1405011160 - RAV Admin - CA07 Application	(\$200)	\$0	(\$183)	\$0	(\$200)	\$0
1405011155 - Admin Charges FOI	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - ADMINISTRATION OP/INC	(\$4,038)	\$0	(\$6,646)	\$0	(\$7,250)	\$0
Total - ADMINISTRATION	(\$4,038)	\$0	(\$6,646)	\$0	(\$7,250)	\$0
MATERIALS AND STOCK						
OPERATING EXPENDITURE						
000000 Opening Stock	\$0	\$0	\$0	\$0	\$0	\$0
000000 Material Purchases	\$0	\$0	\$0	\$0	\$0	\$0
000000 Less Material Allocated	\$0	\$0	\$0	\$0	\$0	\$0
000000 Closing Stock	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - MATERIALS AND STOCK	\$0	\$0	\$0	\$0	\$0	\$0
Total - MATERIALS AND STOCK	\$0	\$0	\$0	\$0	\$0	\$0

<i>Shire of Yalgoo</i>						
<i>Detailed Statement</i>						
Details By function Under The Following Programme Titles						
And Type Of Activities Within The Programme						
	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
SALARIES AND WAGES						
OPERATING EXPENDITURE						
1406012000 · Gross Total Salaries and Wages	\$0	\$327	\$0	\$1,621,278	\$0	\$1,768,667
1406052000 · LESS SALS/WAGES ALLOCATED	\$0	\$0	\$0	(\$1,621,278)	\$0	(\$1,768,667)
Sub Total - SALARIES AND WAGES OP/EXP	\$0	\$327	\$0	\$0	\$0	\$0
OPERATING INCOME						
1406012085 · Reimbursements - Workers Compensation	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - SALARIES AND WAGES OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - SALARIES AND WAGES	\$0	\$327	\$0	\$0	\$0	\$0
UNCLASSIFIED						
OPERATING EXPENDITURE						
1407012720-Other Expenses	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - UNCLASSIFIED OP/EXP	\$0	\$0	\$0	\$0	\$0	\$0
OPERATING INCOME						
1407011620 · Other Income	\$0	\$0	\$0	\$0	\$0	\$0
1407011640 · Reimbursements	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - UNCLASSIFIED OP/INC	\$0	\$0	\$0	\$0	\$0	\$0
Total - UNCLASSIFIED	\$0	\$0	\$0	\$0	\$0	\$0
Total - OTHER PROPERTY AND SERVICES	(\$9,067)	\$279,606	(\$37,646)	\$12,165	(\$38,250)	\$13,271
	(\$4,884,629)	\$4,394,113	(\$5,948,088)	\$5,701,014	(\$5,962,950)	\$6,211,015
FUND TRANSFERS						
EXPENDITURE						
000000 Transfer to Yalgoo Ninghan Road Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$322,785
Interest Earnt	\$0	\$4,087	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to Plant Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$596
Interest Earnt	\$0	\$468	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to Sports Complex Reserve Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$937
Interest Earnt	\$0	\$736	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to HCP Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$1,386
Interest Earnt	\$0	\$1,089	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to Building Reserve Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$1,587
Interest Earnt	\$0	\$1,246	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to Community Amenities Maintenance Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$2,656
Interest Earnt	\$0	\$2,086	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to Long Service Leave Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$482
Interest Earnt	\$0	\$378	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to Housing Maintenance Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$1,205
Interest Earnt	\$0	\$946	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to Yalgoo Morawa Road Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$1,698
Interest Earnt	\$0	\$1,333	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to General Road Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$128,725
Interest Earnt	\$0	\$529	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$128,760	\$0	\$0	\$0	\$0
000000 Transfer to Office Equipment Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$35
Interest Earnt	\$0	\$28	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to Road Agreement Yalgoo Morawa Road Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$0
Interest Earnt	\$0	\$0	\$0	\$0	\$0	\$9,196
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to Natural Disaster Triggerpoint Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$125

Shire of Yalgoo

Detailed Statement

Details By function Under The Following Programme Titles

And Type Of Activities Within The Programme

	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
Interest Earnt	\$0	\$98	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to Emergency Road Repairs Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$83
Interest Earnt	\$0	\$64	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer to Superannuation Back Pay Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$0
Interest Earnt	\$0	\$0	\$0	\$0	\$0	\$0
Transfer from Mini	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - TRANSFER TO OTHER COUNCIL FUNDS	\$0	\$141,849	\$0	\$0	\$0	\$471,496
INCOME						
000000 Transfer from Yalgoo Ninghan Road Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer from General Roads Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer from Superannuation Back Pay Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer from Building Reserve Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$0
000000 Transfer from Leave Reserve Fund	\$0	\$0	\$0	\$0	\$0	\$0
Total - TRANSFER FROM OTHER COUNCIL FUNDS	\$0	\$0	\$0	\$0	\$0	\$0
Total - FUND TRANSFER	\$0	\$141,849	\$0	\$0	\$0	\$471,496
000000 (Surplus) / Deficit - Carried Forward	(\$3,075,961)	\$0	(\$3,075,961)	\$0	(\$3,075,961)	\$0
Sub Total - SURPLUS C/FWD	(\$3,075,961)	\$0	(\$3,075,961)	\$0	(\$3,075,961)	\$0
Total - SURPLUS	(\$3,075,961)	\$0	(\$3,075,961)	\$0	(\$3,075,961)	\$0
LONG TERM LOANS						
000000 Loan Principal Repayments -	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - LONG TERM LOANS	\$0	\$0	\$0	\$0	\$0	\$0
Total - DEFERRED ASSETS	\$0	\$0	\$0	\$0	\$0	\$0
LIABILITY LOANS						
EXPENDITURE						
000000 Loan Principal Repayments - Housing loans ,53,	\$0	\$8,693	\$0	\$8,838	\$0	\$17,676
000000 Loan Principal Repayments - Housing loans 55	\$0	\$10,438	\$0	\$10,606	\$0	\$21,212
000000 Loan Principal Repayments - Housing loans 56	\$0	\$26,292	\$0	\$26,492	\$0	\$52,983
000000 Loan Principal Repayments - Community Amenities loan 54	\$0	\$8,781	\$0	\$4,391	\$0	\$8,781
Sub Total - LOAN REPAYMENTS	\$0	\$54,204	\$0	\$50,326	\$0	\$100,652
INCOME						
000000 Loan Raised - Loan No	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - LOANS RAISED	\$0	\$0	\$0	\$0	\$0	\$0
Total - NON CURRENT LIABILITIES	\$0	\$54,204	\$0	\$50,326	\$0	\$100,652
000000 Depreciation Written Back	\$0	(\$1,041,075)	\$0	(\$1,145,182)	\$0	(\$1,249,289)
000000 Book Value of Assets Sold Written Back	\$0	\$0	\$0	(\$227,043)	\$0	(\$227,043)
000000 Accrued Salary and Wages	\$0	\$0	\$0	\$0	\$0	\$0
000000 Accrued Interest on Debentures	\$0	\$0	\$0	\$0	\$0	\$0
000000 Movement in Loan Funds	\$0	\$0	\$0	\$0	\$0	\$0
000000 Net Change in Non Current	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - DEPRECIATION WRITTEN BACK	\$0	(\$1,041,075)	\$0	(\$1,372,225)	\$0	(\$1,476,332)
Total - DEPRECIATION	\$0	(\$1,041,075)	\$0	(\$1,372,225)	\$0	(\$1,476,332)

<i>Shire of Yalgoo</i>						
<i>Detailed Statement</i>						
Details By function Under The Following Programme Titles						
And Type Of Activities Within The Programme						
	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
FURNITURE AND EQUIPMENT						
GOVERNANCE						
EXPENDITURE						
000000-Computer Hardware and Systems Upgrade	\$0	\$0	\$0	\$37,500	\$0	\$37,500
000000- Upgrade Cabling - Fibre Admin Centre	\$0	\$12,111	\$0	\$13,000	\$0	\$13,000
000000- External Monitor Display	\$0	\$1,148	\$0	\$0	\$0	\$40,000
000000-Admin Airconditioner	\$0	\$0	\$0	\$0	\$0	\$0
000000-Fire Proof Safe- Admin Centre	\$0	\$813	\$0	\$11,000	\$0	\$11,000
000000-Financial Software	\$0	\$80,000	\$0	\$0	\$0	\$100,000
000000-IPADS Elected Members	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$94,072	\$0	\$61,500	\$0	\$201,500
Total - GOVERNANCE	\$0	\$94,072	\$0	\$61,500	\$0	\$201,500
FURNITURE AND EQUIPMENT						
RECREATION AND CULTURE						
EXPENDITURE						
000000 - Furn. & Equip - Art Centre - Camera,Lockers,Bookcase	\$0	\$0	\$0	\$0	\$0	\$0
000000 - Furn. & Equip - Art Centre	\$0	\$0	\$0	\$4,500	\$0	\$4,500
000000 - Furn. & Equip - Day Care Centre	\$0	\$0	\$0	\$0	\$0	\$0
000000- Community Oval - Furn & Equip	\$0	\$0	\$0	\$500	\$0	\$500
Sub Total - CAPITAL WORKS	\$0	\$0	\$0	\$5,000	\$0	\$5,000
Total - HEALTH	\$0	\$0	\$0	\$5,000	\$0	\$5,000
FURNITURE AND EQUIPMENT						
LAW ORDER AND PUBLIC SAFETY						
EXPENDITURE						
000000- CCTV Caravan Park	\$0	\$0	\$0	\$13,600	\$0	\$13,600
000000- Shire Firearm	\$0	\$0	\$0	\$0	\$0	\$0
000000- CCTV Yalgoo Townsite	\$0	\$0	\$0	\$30,000	\$0	\$30,000
Sub Total - CAPITAL WORKS	\$0	\$0	\$0	\$43,600	\$0	\$43,600
Total -LAW ORDER AND PUBLIC SAFETY	\$0	\$0	\$0	\$43,600	\$0	\$43,600
FURNITURE AND EQUIPMENT						
ECONOMIC SERVICES						
EXPENDITURE						
000000- Additional Washing Machine and Dryer	\$0	\$0	\$0	\$0	\$0	\$0
000000- 4 Multiple Store Shelving Caravan Park Chalets	\$0	\$0	\$0	\$0	\$0	\$0
000000- HCP Program Computer	\$0	\$0	\$0	\$1,500	\$0	\$1,500
	\$0	\$0	\$0	\$0	\$0	\$0
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$0	\$0	\$1,500	\$0	\$1,500
Total - ECONOMIC SERVICES	\$0	\$0	\$0	\$1,500	\$0	\$1,500
Total - FURNITURE AND EQUIPMENT	\$0	\$94,072	\$0	\$111,600	\$0	\$251,600
LAND AND BUILDINGS						
GOVERNANCE						
EXPENDITURE						
000000-New Front Doors - Administration Building (incl Notice Board)	\$0	\$0	\$0	\$0	\$0	\$0
000000- Admin Centre - Front Rails	\$0	\$0	\$0	\$0	\$0	\$0
000000- Admin Centre - Garden Reticulation	\$0	\$0	\$0	\$0	\$0	\$0
000000- Admin Centre - Air Conditioners	\$0	\$0	\$0	\$0	\$0	\$0
000000 - Admin Centre Covered Carport Area	\$0	\$0	\$0	\$0	\$0	\$0
000000- Admin Centre -Records Fit Coolroom Panels to Sea Container	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$0	\$0	\$0	\$0	\$0

<i>Shire of Yalgoo</i>						
<i>Detailed Statement</i>						
Details By function Under The Following Programme Titles						
And Type Of Activities Within The Programme						
	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
TOTAL - GOVERNANCE	\$0	\$0	\$0	\$0	\$0	\$0
LAND AND BUILDINGS						
LAW ORDER AND PUBLIC SAFETY						
EXPENDITURE						
	\$0	\$0	\$0	\$0	\$0	\$0
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$0	\$0	\$0	\$0	\$0
TOTAL - LAW ORDER AND PUBLIC SAFETY	\$0	\$0	\$0	\$0	\$0	\$0
LAND AND BUILDINGS						
HEALTH						
EXPENDITURE						
	\$0	\$0	\$0	\$0	\$0	\$0
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$0	\$0	\$0	\$0	\$0
TOTAL - HEALTH	\$0	\$0	\$0	\$0	\$0	\$0
LAND AND BUILDINGS						
HOUSING						
EXPENDITURE						
000000-Staff Housing - Solar Panels	\$0	\$0	\$0	\$0	\$0	\$0
000000-Staff Housing - 19b Stanley Street Security Screens	\$0	\$0	\$0	\$0	\$0	\$0
000000-Staff Housing - 19a Stanley Street Replace Floor Coverings	\$0	\$0	\$0	\$0	\$0	\$0
000000-Staff Housing - Security	\$0	\$0	\$0	\$0	\$0	\$0
000000-Staff Housing - 42 Units 3 Gibbons Street Replace Floor Coverings	\$0	\$0	\$0	\$0	\$0	\$0
000000 -House 74 Weekes Street	\$0	\$0	\$0	\$0	\$0	\$0
000000-Two Units 17 Shemrock Street	\$0	\$0	\$0	\$0	\$0	\$0
000000-Staff Housing -6 Henty Street Replace Carpet with Floor Board	\$0	\$0	\$0	\$0	\$0	\$0
000000-Staff Housing -8 Henty Street Colorbond Fence Front	\$0	\$0	\$0	\$0	\$0	\$0
000000-Staff Housing - Power to 3 Storage Shed	\$0	\$0	\$0	\$0	\$0	\$0
000000 -House 75 Weekes Street - Landscaping	\$0	\$0	\$0	\$0	\$0	\$0
000000-Staff Housing -8 Henty Street Landscaping	\$0	\$0	\$0	\$0	\$0	\$0
000000-Other Housing - Nurse Accommodation	\$0	\$5,123	\$0	\$0	\$0	\$250,000
Sub Total - CAPITAL WORKS	\$0	\$5,123	\$0	\$0	\$0	\$250,000
Total - HOUSING	\$0	\$5,123	\$0	\$0	\$0	\$250,000
LAND AND BUILDINGS						
COMMUNITY AMENITIES						
EXPENDITURE						
000000- Mobile Ablution Block - Airstrip	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$0	\$0	\$0	\$0	\$0
Total - COMMUNITY AMENITIES	\$0	\$0	\$0	\$0	\$0	\$0
LAND AND BUILDINGS						
RECREATION AND CULTURE						
EXPENDITURE						
000000 - Arts and Crafts Building	\$0	\$0	\$0	\$0	\$0	\$0
000000 - Museum Improvements	\$0	\$0	\$0	\$117,157	\$0	\$117,157
000000-Power Supply Mens Shed and Rifle Club - Stage 2	\$0	\$0	\$0	\$0	\$0	\$0

<i>Shire of Yalgoo</i>						
<i>Detailed Statement</i>						
Details By function Under The Following Programme Titles						
And Type Of Activities Within The Programme						
	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
000000-Payne Find Complex - External Painting	\$0	\$0	\$0	\$0	\$0	\$0
000000-Payne Find Complex - Internal Painting	\$0	0	\$0	\$0	\$0	\$0
000000 -Yalgoo Community Hall Renovation LCRI \$485,431,Lotterywest \$300,000	\$0	\$2,000	\$0	\$500,000	\$0	\$600,000
000000 - Community Hall - Air Conditioner	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$2,000	\$0	\$617,157	\$0	\$717,157
Total - RECREATION AND CULTURE	\$0	\$2,000	\$0	\$617,157	\$0	\$717,157
LAND AND BUILDINGS						
TRANSPORT						
EXPENDITURE						
000000- Machinery Shed Depot - Concrete Floor 2 Bays	\$0	\$18,182	\$0	\$0	\$0	\$20,000
000000- Machinery Shed Depot	\$0	\$0	\$0	\$0	\$0	\$0
000000-Flood Control -Fuel Station	\$0	\$0	\$0	\$0	\$0	\$0
000000- Depot -Electric Boundary Fence and Gate	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$18,182	\$0	\$0	\$0	\$20,000
Total - TRANSPORT	\$0	\$18,182	\$0	\$0	\$0	\$20,000
LAND AND BUILDINGS						
ECONOMIC SERVICES						
EXPENDITURE						
000000- BBQ's (2) and Shade Structure Caravan Park	\$0	\$0	\$0	\$0	\$0	\$0
000000-Caravan Park - Sealing of Parking Bays and Driveways	\$0	\$0	\$0	\$0	\$0	\$0
000000 - Storage and POS Facility - Caravan Park	\$0	\$0	\$0	\$0	\$0	\$0
000000-Caravan Park - Disabled Toilets Chair and Rails	\$0	\$0	\$0	\$0	\$0	\$0
000000-Caravan Park - Upgrade Water and Power Supply	\$0	\$0	\$0	\$30,000	\$0	\$30,000
000000-Caravan Park -2 Self Contained Accommodation Units	\$0	\$169,009	\$0	\$340,000	\$0	\$340,000
000000- Shelter and Seating Jokker Tunnel	\$0	\$0	\$0	\$0	\$0	\$0
000000- Shelter and Visitors Board at Railway Station	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$169,009	\$0	\$370,000	\$0	\$370,000
Total - ECONOMIC SERVICES	\$0	\$169,009	\$0	\$370,000	\$0	\$370,000
LAND AND BUILDINGS						
OTHER PROPERTY AND SERVICES						
EXPENDITURE						
000000-Solar Panel - Shire Buildings	\$0	\$0	\$0	\$100,000	\$0	\$100,000
000000-Mens Shed Upgrade	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$0	\$0	\$100,000	\$0	\$100,000
Total - OTHER PROPERTY AND SERVICES	\$0	\$0	\$0	\$100,000	\$0	\$100,000
Total - LAND AND BUILDINGS	\$0	\$194,314	\$0	\$1,087,157	\$0	\$1,457,157
PLANT AND EQUIPMENT						
GOVERNANCE						
EXPENDITURE						
000000- Motor Vehicle CEO	\$0	\$0	\$0	\$0	\$0	\$0
000000- Motor Vehicle CGTS	\$0	\$0	\$0	\$0	\$0	\$0
000000- Motor Vehicle - Rav 4	\$0	\$0	\$0	\$0	\$0	\$0
000000- Motor Vehicle - Fortunner	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$0	\$0	\$0	\$0	\$0
Total - GOVERNANCE	\$0	\$0	\$0	\$0	\$0	\$0
PLANT AND EQUIPMENT						
LAW ORDER & PUBLIC SAFETY						
EXPENDITURE						

<i>Shire of Yalgoo</i>						
<i>Detailed Statement</i>						
Details By function Under The Following Programme Titles						
And Type Of Activities Within The Programme						
	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$0	\$0	\$0	\$0	\$0
Total - LAW, ORDER & PUBLIC SAFETY	\$0	\$0	\$0	\$0	\$0	\$0
PLANT AND EQUIPMENT						
COMMUNITIES AMENITIES						
EXPENDITURE						
000000- Community Bus	\$0	\$118,315	\$0	\$130,000	\$0	\$130,000
Sub Total - CAPITAL WORKS	\$0	\$118,315	\$0	\$130,000	\$0	\$130,000
Total - COMMUNITY AMENITIES	\$0	\$118,315	\$0	\$130,000	\$0	\$130,000
PLANT AND EQUIPMENT						
RECREATION AND CULTURE						
EXPENDITURE						
000000- Kubota Utility Vehicle Parks	\$0	\$0	\$0	\$0	\$0	\$0
000000- Kubota Ride on Mower	\$0	\$0	\$0	\$0	\$0	\$0
000000- Hilux 4x2 Gardener	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$0	\$0	\$0	\$0	\$0
Total - RECREATION AND CULTURE	\$0	\$0	\$0	\$0	\$0	\$0
PLANT AND EQUIPMENT						
TRANSPORT						
EXPENDITURE						
000000- Catapillar Wheel Loader 950M	\$0	\$0	\$0	\$0	\$0	\$0
000000- Motor Vehicle Centrecare	\$0	\$0	\$0	\$0	\$0	\$0
000000- Ice Machine Depot	\$0	\$0	\$0	\$0	\$0	\$0
000000- Grader cat 12M	\$0	\$379,130	\$0	\$0	\$0	\$380,000
000000- Multi Tyre Roller Bomag	\$0	\$0	\$0	\$380,000	\$0	\$0
000000-Water Cart Modification	\$0	\$0	\$0	\$0	\$0	\$0
000000- Prime Mover Mack	\$0	\$0	\$0	\$0	\$0	\$0
000000-Yalgoo Hub - Waterpark Pumping System	\$0	\$0	\$0	\$0	\$0	\$0
000000-Caterpillar 140h-YA420	\$0	\$0	\$0	\$0	\$0	\$0
000000-Roller - Multi Tyred ,17 Tonne	\$0	\$0	\$0	\$0	\$0	\$0
000000-Backhoe	\$0	\$0	\$0	\$0	\$0	\$0
000000-Trailer - Side Tipper	\$0	\$192,270	\$0	\$180,000	\$0	\$180,000
000000-Truck Tipper	\$0	\$69,170	\$0	\$80,000	\$0	\$80,000
000000-Truck Cab Crew	\$0	\$0	\$0	\$0	\$0	\$0
000000-Works Foreman Ute - YA 899	\$0	\$69,913	\$0	\$75,000	\$0	\$75,000
000000-Fuel Tank	\$0	\$0	\$0	\$2,100	\$0	\$2,100
000000-Deisel Air Compressor	\$0	\$0	\$0	\$3,200	\$0	\$3,200
000000-Works Hilux	\$0	\$0	\$0	\$0	\$0	\$0
000000-Generator Genelite 4.5 kva	\$0	\$0	\$0	\$0	\$0	\$6,000
000000-Generator Kubota 6kva with fuel tank	\$0	\$0	\$0	\$0	\$0	\$0
000000-Road Sweeper Attachment	\$0	\$0	\$0	\$25,000	\$0	\$25,000
Sub Total - CAPITAL WORKS	\$0	\$710,483	\$0	\$745,300	\$0	\$751,300
Total - TRANSPORT	\$0	\$710,483	\$0	\$745,300	\$0	\$751,300
PLANT AND EQUIPMENT						
ECONOMIC SERVICES						
CAPITAL EXPENDITURE						
	\$0	\$0	\$0	\$0	\$0	\$0
	\$0	\$0	\$0	\$0	\$0	\$0
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS					\$0	\$0
Total - ECONOMIC SERVICES	\$0	\$0	\$0	\$0	\$0	\$0

Shire of Yalgoo

Detailed Statement

Details By function Under The Following Programme Titles

And Type Of Activities Within The Programme

	Actual 2020-21		Adopted Budget 2020-21		Adpoted Budget 2020-21	
	JULY -MAY 2021 YTD		JULY -MAY 2021 YTD			
	Income	Expenditure	Income	Expenditure	Income	Expenditure
Total - PLANT AND EQUIPMENT	\$0	\$828,798	\$0	\$875,300	\$0	\$881,300
TOOL PURCHASES						
EXPENDITURE						
	\$0	\$0	\$0	\$0	\$0	\$0
NEW PURCHASES	\$0	\$0	\$0	\$0	\$0	\$0
Total - TOOL PURCHASES	\$0	\$0	\$0	\$0	\$0	\$0
INFRASTRUCTURE ASSETS - ROAD RESERVES						
ROADS TO RECOVERY GRANTS						
000000- Yalgoo/Morawa Road - Widen to 7m 7km	\$0	\$239,119	\$0	\$380,000	\$0	\$380,000
RRG SPECIAL GRANT RD WORKS						
000000- Yalgoo/Nighan Road - 4 metre seal 5km includes \$214,110 LRCI Program Grant	\$0	\$299,419	\$0	\$514,110	\$0	\$514,110
MUNICIPAL/LOCAL ROADS GRANT- ROADS						
TOWN STREET CONSTRUCTION						
BRIDGES						
FOOTPATH CONSTRUCTION - MUNICIPAL						
FLOOD DAMAGE						
DRAINAGE MUNICIPAL						
OTHER						
000000- Sandford River Crossing	\$0	\$0	\$0	\$25,000	\$0	\$25,000
000000- Badga Woolshed Road - Geraldton Mount Magnet Road to Airstrip Seal 800m	\$0	\$0	\$0	\$80,000	\$0	\$80,000
000000- Sealing of Road and Parking Area -Yalgoo Lookout	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$538,538	\$0	\$999,110	\$0	\$999,110
Total - ROADS	\$0	\$538,538	\$0	\$999,110	\$0	\$999,110
Total - INFRASTRUCTURE ASSETS ROAD RESERVES	\$0	\$538,538	\$0	\$999,110	\$0	\$999,110
INFRASTRUCTURE ASSETS-RECREATION FACILITIES						
000000- Yalgoo/Ninghan Road - Seal to width 4m						
000000- Bollard Fence - Community Park	\$0	\$0	\$0	\$0	\$0	\$0
000000- New Fence - Shamrock Park	\$0	\$0	\$0	\$0	\$0	\$0
000000- Pinic Shelter - Shamrock Park	\$0	\$0	\$0	\$0	\$0	\$0
000000- Sports Complex Carpark - Kerb and Seal and Footpath to School	\$0	\$28,127	\$0	\$29,256	\$0	\$29,256
000000- Community/School Oval Shared Use Development	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$28,127	\$0	\$29,256	\$0	\$29,256
Total - OTHER	\$0	\$28,127	\$0	\$29,256	\$0	\$29,256
Total - INFRASTRUCTURE ASSETS - RECREATION FACILITIES	\$0	\$28,127	\$0	\$29,256	\$0	\$29,256
INFRASTRUCTURE ASSETS - OTHER						
000000- Street Lighting	\$0	\$0	\$0	\$50,000	\$0	\$50,000
000000- Yalgoo Rubbish Tip	\$0	\$18,062	\$0	\$0	\$0	\$0
000000- Security Fence Depot	\$0	\$0	\$0	\$0	\$0	\$0
000000- Security System Depot	\$0	\$0	\$0	\$0	\$0	\$0
000000- Paynes Find Airstrip Fence	\$0	\$0	\$0	\$0	\$0	\$0
000000- Public Toilets- Paynes Find	\$0	\$0	\$0	\$33,656	\$0	\$33,656
000000-Paynes Find Entry Statements	\$0	\$1,148	\$0	\$30,000	\$0	\$30,000
000000 - Jokers Tunnel Entry Road Sheeting	\$0	\$0	\$0	\$0	\$0	\$0
	\$0	\$0	\$0	\$0	\$0	\$0
Sub Total - CAPITAL WORKS	\$0	\$19,210	\$0	\$113,656	\$0	\$113,656
Total - OTHER	\$0	\$19,210	\$0	\$113,656	\$0	\$113,656
Total - INFRASTRUCTURE ASSETS - OTHER	\$0	\$19,210	\$0	\$113,656	\$0	\$113,656
Rounding Adjustment						
GRAND TOTALS	(\$7,960,590)	\$5,252,150	(\$9,024,049)	\$7,595,195	(\$9,038,911)	\$9,038,911
SURPLUS						
		-\$2,708,440		(\$1,428,854)		(\$0)

GENERAL ATTACHMENTS



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ITEM N^o 1 1.4.7 page: 29 – 31





**Notice
of
Annual General
Meeting
and
Procedural Information
for Submission of Motions**

Crown Perth

Monday, 20 September 2021

Deadline for Agenda Items

(Close of Business)

Friday, 16 July 2021



2021 Local Government Convention

General Information

WALGA Annual General Meeting

The Annual General Meeting for the Western Australian Local Government Association (WALGA) will be held from 9:00am on Monday, 20 September 2021. This event should be attended by delegates from all Member Local Governments.

Cost for attending the Annual General Meeting

Attendance at the Annual General Meeting is **free of charge** to all Member Local Governments. Lunch will be provided. Delegates must register their attendance in advance.

Submission of Motions

Member Local Governments are invited to submit motions for inclusion on the Agenda for consideration at the 2021 Annual General Meeting. Motions should be submitted in writing to the Chief Executive Officer of WALGA.

The closing date for submission of motions is **5:00pm Friday, 16 July**.

*Please note that any motions proposing alterations or amendments to the Constitution of WALGA must be received by **5:00pm Friday, 2 July** in order to satisfy the 60 day constitutional notification requirements.*

The following guidelines should be followed by Members in the formulation of motions:

- Motions should focus on policy matters rather than issues which could be dealt with by the WALGA State Council with minimal delay.
- Due regard should be given to the relevance of the motion to the total membership and to Local Government in general. Some motions are of a localised or regional interest and might be better handled through other forums.
- Due regard should be given to the timeliness of the motion – will it still be relevant come the Local Government Convention or would it be better handled immediately by the Association?
- The likely political impact of the motion should be carefully considered.
- Due regard should be given to the educational value to Members – i.e. does awareness need to be raised on the particular matter?
- The potential media interest of the subject matter should be considered.
- Annual General Meeting motions submitted by Member Local Governments must be accompanied by fully researched and documented supporting comment.



Criteria for Motions

As per the Corporate Governance Charter, prior to the finalisation of the agenda, the WALGA President and Chief Executive Officer will determine whether motions abide by the following criteria:

Motions will be included in the Business Paper agenda where they:

1. Are consistent with the objects of the Association (refer to clause 3 of the constitution);
2. Demonstrate that the issue/s raised will concern or are likely to concern a substantial number of Local Governments in WA.;
3. Seek to advance the Local Government policy agenda of the Association and/or improve governance of the Association;
4. Have a lawful purpose (a motion does not have a lawful purpose if its implementation would require or encourage non-compliance with prevailing laws);
5. Are clearly worded and unambiguous in nature;

Motions will not be included where they are:

6. Consistent with current Association advocacy/policy positions. (As the matter has previously considered and endorsed by the Association).

Motions of similar objective:

7. Will be consolidated as a single item.

Submitters of motions will be advised of the determinations.

Enquiries relating to the preparation or submission of motions should be directed to Kathy Robertson, Executive Officer Governance on (08) 9213 2036 or krobertson@walga.asn.au.

Emergency Motions

No motion shall be accepted for debate at the Annual General Meeting after the closing date unless the Association President determines that it is of an urgent nature, sufficient to warrant immediate debate, and delegates resolve accordingly at the meeting. Please refer to the AGM Standing Orders for details.

A handwritten signature in blue ink that reads "Tracey Roberts".

Mayor Tracey Roberts JP
President

A handwritten signature in blue ink that appears to read "Nick Sloan".

Nick Sloan
Chief Executive Officer

EMAIL BACK

Voting Delegate Information 2021 Annual General Meeting



TO: Chief Executive Officer

Registered:

All Member Councils are entitled to be represented by two (2) voting delegates at the Annual General Meeting of the WA Local Government Association to be held on Monday, 20 September 2021 at Crown Perth.

Please complete and return this form to the Association by **Friday, 27 August** to register the attendance and voting entitlements of your Council's delegates to the Annual General Meeting.

In the event that a Voting Delegate is unable to attend, provision is made for proxy delegates to be registered.

Only registered delegates or proxy registered delegates will be permitted to exercise voting entitlements on behalf of Member Councils. Delegates may be Elected Members or serving officers.

Please Note: All Voting Delegates will need to present at the WALGA Delegate Service Desk prior to the AGM to collect their electronic voting device (keypad) for voting and identification tag to gain entry into the Annual General Meeting.

VOTING DELEGATES	PROXY Voting Delegates
Name of Voting Delegates (2): 	Name of Proxy Voting Delegates (2):
<p>For (Local Government Name): Shire/Town/City of</p> <p>Signature Chief Executive Officer _____ (An electronic signature is <u>required</u> if submitting via email)</p> <p style="text-align: right;">Date _____</p>	

ON COMPLETION PLEASE EMAIL TO: krobertson@walga.asn.au

Kathy Robertson, Executive Officer Governance

LEADING THE **WAY**

Information and Registration

WA Local Government Convention
Sunday, 19 – Tuesday, 21 September 2021
Crown Perth

PRESENTED BY



PARTNERED SERVICE



PRINCIPAL SPONSOR





EVENT PARTNERS



Partnered Service

LGIS is proud to partner with WALGA at the WA Local Government Convention. The Convention provides a wonderful opportunity for everyone across the sector to come together, share experiences and network.

As the Local Government mutual indemnity Scheme, our members are at the heart of everything we do. We're proud to have stood with our members for over 25 years protecting your communities, organisations and people.

We understand the Local Government industry, its purpose, the risks involved, and our ultimate philosophy of working with you to deliver the best outcome for your communities.

We're also proactive we don't just wait for claims to happen - through our comprehensive Scheme risk program we're dedicated to working with members to manage their risk.

The team at LGIS look forward to seeing all of our members and exploring how we can support you.



Principal Sponsor

Civic Legal is proud to be the principal sponsor of the WA Local Government Convention again this year. We always look forward to catching up with you to hear your stories and to learn more about the issues Local Governments are facing.

Civic Legal has its roots in Local Government. Our specialist Local Government lawyers are passionate about working out the best solutions for Local Governments in all areas of Local Government law.

Drop by our booth to find out more, and to chat with our team. We can help you with complex contracts, leases, employment law matters, planning, litigation, SAT appeals, governance or any other issues your Local Government may face.

Enjoy the conference, and see you soon!

Best regards

Anthony Quahe
Managing Principal

Supporting Sponsor



Convention Breakfast Sponsor



Coffee Cart Sponsors





AN INVITATION

It is my pleasure to invite all Elected Members, Chief Executive Officers and Senior Managers to attend the 2021 WA Local Government Convention, scheduled for Sunday, 19 – Tuesday, 21 September at Crown Perth.



The theme for the 2021 Local Government Convention is Leading the WAY: Looking Forward, Looking Back, taking place against the backdrop of generational change for the sector with reform of the Local Government Act on the horizon.

Additionally, 2020 and 2021 has seen an unprecedented level of uncertainty experienced in areas such as local and international politics; the economy; the environment, together with the ongoing impact and evolving nature of the COVID-19 pandemic. The Convention program has been developed to specifically support and encourage Local Government representatives.

We are pleased to welcome the Honourable Julie Bishop as our Opening Keynote Speaker, and Australian of the Year – Ms Grace Tame, has agreed to deliver the Closing Keynote Speech.

The event will commence with the AGM, followed by a day and a half of plenary and concurrent sessions. These sessions will discuss both contemporary and controversial topics, while the overarching conference format provides opportunity to converse, debate, discuss and share ideas in a welcoming and professional forum.

There is also an opportunity to register for one of the optional field trips scheduled for Wednesday, 22 September.

A significant contingent of industry suppliers will be on display in the trade exhibition to demonstrate their latest products to the Local Government sector. I encourage you to take this once a year opportunity to meet with these suppliers and be updated on what is currently available.

Finally, I would like to express appreciation for the valuable support provided by our Partnered Service – LGIS and Principal Sponsor – Civic Legal. I also wish to thank our Supporting Sponsor; the Department of Local Government, Sport & Cultural Industries and our other sponsors, Ventia, Synergy and Credit Solutions.

I look forward to seeing you in September.

A handwritten signature in black ink that reads 'Tracey Roberts'.

Mayor Tracey Roberts JP
President

ABOUT THE EVENT

Who should attend?

The WA Local Government Convention is presented specifically for those engaged in the Local Government sector.

The conference sessions aim to support and inform Mayors, Presidents, Elected Members and Chief Executive Officers. Additional attendance by Executive Directors and other senior managers is also highly recommended. Available options include full conference participation and daily registration.

Optional events

Monday, 20 September

Australian Local Government Women's Association (ALGWA) AGM and Breakfast (\$70pp)
Convention Gala Dinner at Optus Stadium (\$165pp)

Tuesday, 21 September

Convention Breakfast with Jelena Dokic (\$95pp)
PHAIWA Local Government Policy Awards and Breakfast –
For more information or to register for this breakfast, please visit www.phaiwa.org.au

Wednesday, 22 September

Field Trip: Bushmead Estate (\$70)
Field Trip: Construction Training Fund (\$70)
WALGA Forum on Aboriginal Engagement and Reconciliation

Partner Program

The Partner Program offers an interesting range of options for accompanying guests, including a full day tour to Fremantle. Social networking functions include the Opening Welcome Reception on Sunday evening and the Gala Dinner on Monday evening.

Elected Member training

WALGA Training has scheduled a selection of its Elected Member training opportunities prior and post-Convention for your convenience.

- **Friday, 17 September**
[Developing Specifications for Excellence](#)
- **Wednesday, 22 September**
[CEO Performance Appraisals](#)
- **Wednesday, 22 & Thursday, 23 September**
[Recovery Coordinators Course for Local Government](#)

More information on WALGA Training opportunities can be found in the [WALGA Training Directory](#) or on [WALGA Training Website](#).

2021 #shoWcAse in Pixels Competition

#shoWcAse in PIXELS is an annual exhibition of artwork from Local Governments, displayed on the iconic 45-metre high digital tower at the heart of Yagan Square in Perth City.

As one of the State's largest ongoing community arts projects, the event is widely acknowledged as being one of the most colourful and vibrant displays throughout the year.

The art competition was held in this format for the first time in 2019, which saw art submissions created from recycled products, wall murals and large-scale canvasses.

Artwork will be displayed in Yagan Square from Monday, **6 September** to Sunday, **26 September**, at 12:00pm each day (subject to changes by Yagan Square).



2019 Overall Winner – Shire of Meekatharra

KEYNOTE SPEAKERS



Hon Julie Bishop

The Honourable Julie Bishop served as Australia's Minister for Foreign Affairs from 2013 until her resignation in 2018. She was the first female to hold the role as well as the first female Deputy Leader of the Liberal Party, serving for 11 years.

As Foreign Minister, Ms Bishop was responsible for strengthening Australia's key strategic and economic relationships with Ministerial responsibility for more than 5000 departmental staff, 110 overseas missions as well as government agencies Australian Secret Intelligence Service and Australian Centre for International Agriculture Research.

In 2014, she led the international response to the downing of Malaysian Airlines flight MH17 over Ukraine, and was awarded the Commander of the Order of Merit of the Netherlands Ministry of Foreign Affairs.

Under her leadership, the 2017 Foreign Policy White Paper was developed, providing a comprehensive policy framework for the next decade; and the New Colombo Plan was established, enabling Australian undergraduates to live, study and work in the Indo-Pacific region. Within five years more than 40,000 students have participated in the Plan.

In a political career spanning over 20 years, Julie also served as Minister for Education, Science and Training, Minister for Women's Issues and Minister for Ageing.

Prior to entering politics, Ms Bishop was Managing Partner of the law firm Clayton Utz in Perth.

In 2020 Julie was awarded a Fisher Family Fellowship for the Future of Diplomacy Project at Harvard Kennedy School Belfer Centre for Science and International Affairs. In 2021 Julie was awarded the Kissinger Fellowship at the McCain Institute of International Leadership at Arizona State University. In 2021 Julie was appointed by the UK Government to the G7 Equality Advisory Council (GEAC).

Julie is the Chancellor of Australian National University, chair of Telethon Kid's Institute, Chair of The Prince's Trust Australia, member of the international advisory boards of Afiniti and the Human Vaccines Project and is the Patron of Shooting Stars – an education programme for young Aboriginal girls.

She has also established a boutique advisory firm, Julie Bishop and Partners.



Hon Jason Clare MP

**Shadow Minister for Regional Services, Territories and Local Government;
Housing and Homelessness**

Jason is a member of the Australian Parliament where he represents the seat of Blaxland in Western Sydney.

He was a Minister in the Rudd and Gillard Labor Governments, where he served as Minister for Home Affairs, Minister for Justice, Minister for Defence Materiel and Cabinet Secretary.

Jason is currently the Shadow Minister for Housing and Homelessness, Shadow Minister for Regional Services, Territories and Local Government.

He has also served as Shadow Minister for Communications, Shadow Minister for Trade and Investment and Shadow Minister for Resources and Northern Australia.

Jason's most important job though is being Louise's husband and Jack's dad.

Hon Mark Coulton MP

Federal Minister for Regional Health, Regional Communications and Local Government

Mark was first elected to the House of Representatives for the seat of Parkes, New South Wales, in 2007. He has since been re-elected in 2010, 2013, 2016 and 2019.

On 6 February 2020, Mark was sworn-in as the Minister for Regional Health, Regional Communications and Local Government.

During his time in the Federal Parliament, Mark has also held the positions of Deputy Speaker of the House of Representatives, National Party's Chief Whip, Shadow Parliamentary Secretary for Ageing and the

Voluntary Sector, Shadow Parliamentary Secretary for Water and Conservation and Shadow Parliamentary Secretary for Regional Development and Emerging Trade Markets.

Prior to his election to the House of Representatives, Mark was the Mayor of Gwydir Shire Council from 2004 until 2007.

Mark has an extensive agricultural background having spent 30 years as a farmer and grazier. Mark and his wife Robyn owned and operated a mixed farming system growing cereal crops and running beef cattle.





Anthony De Ceglie

Three-time Walkley Award winner and Editor-in-Chief of West Australian Newspapers

He first started his career as a cadet journalist in regional WA with the *Collie Mail* before becoming a journalist and sub editor at the *Mandurah Mail*.

Anthony previously worked as a reporter with *The Sunday Times* before becoming chief of staff and deputy editor of the newspaper and its website *Perth Now*.

During a secondment to New York in 2011, Anthony helped to launch the iPad newspaper *The Daily* before moving to Sydney to work for *The Daily Telegraph*.

In January 2019 he was appointed senior editor of *The West Australian*, becoming editor in chief in December that same year.

In addition to responsibility for *The West Australian*, *The Weekend West*, *The Sunday Times*, thewest.com.au and perthnow.com.au and the company's 19 regional publications, Anthony has overseen the successful integration of the Community Newspaper Group and Regional Newspapers and the launch of digital subscriptions on the west.com.au

Hon Pru Goward

The Honourable Pru Goward is a former Cabinet minister, Sex Discrimination Commissioner and was a pioneering television reporter with the ABC.

Pru has a long history of promoting women's rights, driving reform and getting it done and has frequently challenged institutional bullying and harassment.

Since leaving politics, Pru is a Professor of Social Interventions and Policy at Western Sydney University, a board member of Anglicare, a regular newspaper columnist, and a diversity and discrimination expert who has recently reviewed sexual misconduct for ministerial staff in the NSW Government and the NSW Supreme Court.

Her outstanding career as a senior government official and government minister saw reforms in Family Law and more recently child protection, social and affordable housing and urban planning.

With her drive, New South Wales overhauled the State Government's approach to domestic violence and is the only Australian state or territory to witness a decline in assault rates.

Prior to this, Pru was Australia's Sex Discrimination Commissioner for six years, promoting the landmark introduction of paid maternity leave, now a national entitlement. She also oversaw Australia's first statistically valid sexual harassment survey which continues to be the benchmark for governments and business and reported on the state of work-life balance for men and women in Australia. Pru was also the commissioner responsible for age discrimination.

As a senior current affairs reporter with the Australian Broadcasting Corporation for 19 years, Pru was ABC Television's first female correspondent, the inaugural presenter of Radio National Breakfast and the recipient of a prestigious Walkley Award for her courageous television profile of organized crime figure George Freeman.

She has authored *A Business of Her Own* and has co-authored a biography of John Howard.

Hon Pru Goward appears by arrangement with Saxton Speakers Bureau





Greg Hire

Founder, A Stitch in Time

As the former Perth Wildcats Vice-Captain, Greg Hire undoubtedly made a huge impact on basketball, however it could be argued his greatest contribution to our State is the work he is doing off the court. A championship player with both the Wanneroo (now Joondalup) Wolves in the State Basketball League, and the Perth Wildcats in the NBL, Hire was named 2018 Western Australian of the Year (Youth) for his efforts as an advocate for youth mental health. Hire grew up around domestic violence, drugs, alcohol, depression and a lack of positive role models and is heavily involved in community and youth sporting activities and other initiatives that aim to combat mental illness and youth suicide.

Greg played for the Perth Wildcats from 2010 until 2019; accumulating 243 games, winning four NBL Championships as Vice-Captain and recently has represented Australia at the World Cup in 3 on 3 Basketball, winning a Gold Medal at 2020 Asia Cup. As the founder of charity A Stitch in Time, his passion and efforts are now transpiring off the court in the work he is doing in the mental health space.

Paul Kelly

Editor-at-Large, The Australian

Paul Kelly is currently the Editor-at-Large at *The Australian*. He was previously Editor-in-Chief and he writes on Australian politics, public policy and international affairs.

Paul has covered Australian governments from Gough Whitlam to Scott Morrison and is a regular television commentator on Sky News. He is the author of nine books including *The Hawke Ascendancy*, *The End of Certainty* and *The March of Patriots*. His most recent book, *Triumph and Demise* covered the Rudd-Gillard era.

Paul has been a Fellow at the Kennedy School of Government at Harvard University and a Fellow at the Menzies Centre, King's College, London.





Glenn Mitchell

Glenn is a former leading ABC sports broadcaster. During his 20 years with ABC Sport in Perth he became a familiar voice around the country with his commentaries on international and domestic cricket and AFL football.

He also commentated at four Olympic Games (Atlanta, Sydney, Athens and Beijing), and three Commonwealth Games.

One of the ABC's senior cricket commentators, Glenn broadcast over 110 Tests and One Day Internationals, covering overseas tours against Sri Lanka, India, Pakistan, England and New Zealand.

But all through this period, Glenn was a sufferer of mental illness and in early 2011 he descended into a highly depressive state that resulted in him inexplicably resigning his dream position at the ABC and making an attempt on his own life. After overcoming his personal demons and reshaping his life, Glenn now aims to try and prevent others from enduring the torturous path he did by candidly speaking about his own journey.

Glenn Mitchell appears by arrangement with Cheri Gardiner & Associates

Grace Tame

After being raped and sexually abused by her maths teacher when she was just 15 years old, Grace Tame has spent the last 10 years turning her traumatic experience into being an advocate for survivors of child sexual abuse and a leader of positive change.

Recognising the injustice of Tasmania's gag order that prevented survivors from self-identifying publicly, Grace offered her story to the #LetHerSpeak campaign created by Nina Funnell, along with the stories of 16 other brave survivors. In 2019, she finally won the court order to speak out under her own name, making her the state's first female child sexual abuse survivor to do so.

Now, 26 and based in Hobart, Grace is dedicated to eradicating child sexual abuse in Australia, and supporting the survivors of child sexual abuse.

Her focus is around enabling survivors to tell their stories without shame, educating the public around the process and lasting effects of grooming and working with policy and decision-makers to ensure we have a federal legal system that supports the survivors, not just perpetrators.

She is also a passionate yoga teacher, visual artist, and champion long-distance runner, having won the 2020 Ross Marathon in a female course record time of 2:59:31.

Grace is the 2021 Australian of the Year.





Liam Bartlett

60 Minutes reporter, host of Radio LPR's morning program, award winning broadcaster and journalist

Having spent nearly 30 years working in Australian media, Liam is one of Perth's highest profile journalists and public broadcasters.

With a Bachelor of Economics from the University of Western Australia, he has held a series of high profile positions across all three major platforms – television, radio and print. His roles have included hosting the State-based 7.30 Report on ABC TV,

news anchor at STW Channel Nine in Perth, reporting for the Nine Network's Melbourne bureau of A Current Affair, columnist and feature writer for News Limited through the Sunday Times and the host of prime-time talkback shifts on Radio 6PR and 720 ABC Perth.

Liam Bartlett appears by arrangement with Cheri Gardiner & Associates

Convention Breakfast – Jelena Dokic

Jelena Dokic has had a storied and well-documented life and tennis career both on and off the tennis court. She started playing tennis when she was six years old and very quickly became the national champion in multiple age groups. However, the war erupted in former Yugoslavia and the family was forced to escape twice. Jelena and her family were refugees before settling in Australia when she was 11 years old.

In 1998, as a 15-year-old, Jelena won the US Open junior title and the French Open doubles title. She became number 1 junior in the world in 1998 and also made a Fed Cup debut the same year winning both her singles matches and becoming the youngest player ever to represent Australia in the Fed Cup.

In early 1999, still only 15 she won the Hopman Cup for Australia partnering Mark Philippoussis and also reached the 3rd round of the Australian Open at 15. Later that year at the age of 16, she caused one of the biggest upsets in tennis history beating world number 1 Martina Hingis as a qualifier. It still remains the only time a world number 1 has lost to a qualifier at Wimbledon. She went on to reach the quarter-finals of Wimbledon that year and it catapulted Jelena to prominence on the world stage.

In 2001 Jelena won her first WTA singles title in Rome. She went on to win two more titles that year and reach the top 10 in the world at the age of 18. At the age of 19 she reached world number 4.

After a string of injuries and a battle with depression, Jelena made a comeback to tennis in 2008 and had an incredible run at the 2009 Australian Open,

reaching the quarterfinals and also winning her first WTA title in nine years in Kuala Lumpur. Jelena's latter part of her career was riddled with injury and illness which forced her to retire early.

Jelena has penned the best-selling autobiography *Unbreakable*, a book which details her career and her life. In the book, she details the struggles of being a refugee, dealing with poverty, racism, bullying, and discrimination. She also talks about the physical and emotional abuse she suffered for over 20 years at the hands of her father which started when she was just six years old.

Jelena now pours her efforts into commentary and TV work for Channel 9, Fox Sports and Tennis Australia. She does work for multiple radio stations and she regularly writes columns.

Jelena Dokic appears by arrangement with ICMJ



THE PROGRAM

SUNDAY, 19 September (pre-conference)

2:30pm – 6:00pm	Delegate Service Desk open for Convention Registration
3:00pm – 5:00pm	Mayors and Presidents' Forum (separate registration – by invitation only)
5:00pm – 6:30pm	Opening Welcome Reception A welcoming space to network your way through an evening of food, beverages, music and friendly conversation. Included in Full Delegate Registration.

Monday, 20 September

7:00am	Delegate Service Desk open for Convention Registration
7:00am – 8:30am	ALGWA (WA) AGM and Breakfast (\$70) Register online via Delegate Registration. Other enquiries to Cr Karen Wheatland, City of Melville – 0401 335 642 or CrKaren.Wheatland@melville.wa.gov.au
7:30am – 8:45am	Breakfast with Heads of Agencies This breakfast is for Mayors, Presidents and CEOs only and invitations will be sent directly. Sponsored by Aware Super.
9:00am – 12:45pm	WALGA Annual General Meeting (includes recognition of Honours Award recipients)
12:45pm – 1:45pm	Lunch for AGM attendees
12:45pm – 1:45pm	2021 Honour Awards Lunch (by invitation only)
1:50pm – 3:00pm	Opening Keynote Speaker: The Honourable Julie Bishop
3:00pm – 3:40pm	Afternoon Tea
3:40pm – 5:00pm	Local Government, a Federal Perspective Hon Mark Coulton MP , Minister for Regional Health, Regional Communications and Local Government Hon Jason Clare MP , Shadow Minister for Regional Services, Territories and Local Government; Housing and Homelessness Moderated by Liam Bartlett
6:30pm – 11:00pm	Gala Dinner, Optus Stadium (\$165) Put aside business for the night and enjoy a stunning view, food, drinks and dancing Includes announcement of #shoWcAse in Pixels winners

Tuesday, 21 September

7:00am	Delegate Service Desk open for Registration
7:00am – 8:45am	PHAIWA Local Government Policy Awards and Breakfast For more information or to register for this breakfast, please visit www.phaiwa.org.au
7:30am – 8:45am	Convention Breakfast with Jelena Dokic (\$95)
8:50am	Minding Your Mental Health – Panel Discussion Aboriginal and non-Aboriginal mental health is an issue that all Australians need to confront to offer genuine support and care for those affected and to help mitigate risks in workplaces and interactions. Local Government in particular, with its role as a major employer and provider of community services, needs to continuously explore how mental health issues manifest and evolve to best inform their options in responding. Hon Pru Goward , former Cabinet Minister Greg Hire , Founder, A Stitch in Time Glenn Mitchell , former leading ABC sports broadcaster
10:00am	State and Federal Political Insights A conversation centred on the political landscape including the current State Government's performance following the recent State Government Election and an overview of Federal Government initiatives, emerging critical issues and the media response. Paul Kelly , Editor-at-Large, <i>The Australian</i> Anthony De Ceglie , Editor-in-Chief, <i>The West Australian</i>
10:40am – 11:15am	Morning Tea

11:15am

CONCURRENT SESSIONS**Recovery from Emergencies in WA**

Western Australia communities have been hit hard by emergencies in 2021. In February, a fire ignited in the Wooroloo area in the Shire of Mundaring. The blaze rapidly escalated to a level 3 fire, burning for almost a week and crossing two Local Government areas, destroying 86 homes and causing widespread damage.

In April, Tropical Cyclone Seroja made landfall between Kalbarri and Port Gregory. Winds of up to 170 kilometres an hour left a trail of destruction over 35,000 square kilometres of Western Australia. Throughout 10 Local Government areas; it destroyed homes, businesses, resorts, sheds, fences and water stations, leaving thousands of people homeless and without power and communication for extended periods.

Whilst Local Government has the legislative responsibility for recovery, the scale and significance of both of these recovery effects, has seen the State appoint a State Recovery Controller for each of these events to lead the whole of government approach to recovery efforts.

During this session, we will hear the experience of those involved and learn about how they managed the unique challenges of these extensive recovery efforts.

Governance: Roles & Responsibilities

The purpose and intent of the Local Government Act 1995 is to provide efficient and effective good governance to communities. Inherent in this purpose and intent is the separation of powers principle which, as Parliament considered when the Act was introduced in 1993, stated '...there will be clear specifications of the roles of key players ... to promote efficiency ...and to avoid conflicts caused by uncertainty...'.

The question of separation of powers remains a focus of Local Government advocacy and has featured in the Final Report of the Local Government Review Panel, Report of the Inquiry into the City of Perth and Select Committee into the Local Government Final Report.

This session will examine why this remains a topic of interest to the sector, scenarios that led to commentary in recent Reports and how proposals for improvements in role clarity will foster efficient and effective Local Government.

Elected Members:**Champions of economic resilience and community prosperity**

As community leaders and key decision makers, Elected Members have an important role to play in supporting local economic development and prosperity. This session provides a valuable opportunity to get exclusive access to Economic Development Australia's (EDA's) new economic development education and training program and will cover important topics such as:

- principles for economic development planning
- leading recovery and building resilience for your community; and
- being an Economic Development Champion - promoting economic prosperity for your community

Economic Development Australia (EDA) is the national peak body for economic development professionals.

Tuesday, 21 September (continued)

12:45pm – 1:40pm Lunch

1:40pm

CONCURRENT SESSIONS

Bushfire Volunteers

Western Australians in rural and pastoral areas rely heavily on Bush Fire Brigade volunteers to keep them safe from the threat of fire. Local Governments are responsible for administering and training the 19,500 volunteers in 565 bushfire brigades around the State.

This session will provide the latest information on volunteer workplace health and safety obligations, training opportunities and the changing landscape in attracting and retaining bushfire volunteers.

Local Government Audits

The WA State Government amended legislation and regulations to provide for the Auditor General to be responsible for undertaking Local Government audits effective from 1 July 2018. The Office of the Auditor General (OAG) phased in over three years the responsibility for undertaking the audits previously carried out by Local Government appointed commercial contract auditors.

This session will provide information on the:

- Experience of initial three years of financial audits
- Lessons learnt from the OAG perspective
- OAG perspective on Local Government financial statutory provisions
- Expectations for future auditing
- Overview of Local Government Performance Audits and future focus

Waste Avoidance and the impact of the Waste Export Bans

In WA, the majority of material that is recycled through the kerbside recycling bin is exported for reprocessing and use in new products. That's all set to change with the introduction of export bans for plastic, paper and cardboard. As of 1 July 2021, mixed plastic, which is about 4% of what is collected through the kerbside recycling bin, will no longer be able to be exported and will be reprocessed locally. While this is a good outcome in relation to increasing transparency of where material goes, it is likely to have a financial impact on the costs of kerbside recycling.

This session will outline the impact of the export bans, the local processing options being developed and ultimately the best thing that Local Government and the community can do with waste – avoid it completely.

3:10pm- 3:45pm Afternoon Tea

3:45pm

Closing Speaker: Grace Tame

4:45pm

Official Close of the 2021 Local Government Convention

Wednesday, 22 September (post-conference)

8:30am Delegate Service Desk open

9:00am – 11:30am **Field Trip: Bushmead Estate, Shaped by Nature (\$70)**

Bushmead Estate, 16 km east of Perth's CBD, is a new land development located in the City of Swan that has placed the pristine natural bushland at the forefront of design, with every household connected to the bush. The development which will eventually be home to around 950 new dwellings aims to minimise the environmental footprint and places high importance on the retention of trees within the development. Bushmead is also one of the few estates in Western Australia to have received 6-Leaf EnviroDevelopment Accreditation, ensuring sustainable living for residents.

The land developer, Cedar Woods, will discuss the sustainability features of the estate and the process involved around tree retention from planning to construction, and participants will view a development shaped by the natural site features and experience the parks and walking trails of this unique community.

Includes bus transfers from Crown Perth and Morning Tea.

9:00am – 12:00pm **Field Trip: Construction Futures Centre (\$70)**



Construction Training Fund (CTF) is a government statutory authority creating a skilled Western Australian construction workforce. It collects a training levy, helps pay for training, conducts research, showcases training and career opportunities and makes a contribution to building our communities. It also operates an interactive venue, the Construction Futures Centre in Belmont, designed to educate school aged children, young adults and others to consider the many job options on offer within the industry.

Join this tour to explore a range of virtual and augmented reality technologies, artefacts, videos, games and static displays that offer a unique insight into the scope of WA's building and construction industry.

Includes bus transfers from Crown Perth and Morning Tea.

9:30am – 3:00pm **WALGA Forum on Aboriginal Engagement and Reconciliation**

Hear from State Government on key Native Title Settlements in WA, and learn from Local Governments about the process of commencing Reconciliation Action Plans (RAPs) through to embedding reconciliation activities as core business. Join Traditional Owners and Aboriginal leaders for a round-table yarn on opportunities and barriers experienced by local Aboriginal communities, and the positive impact Local Government can make. The program will cover Aboriginal engagement methods, employment and economic opportunities, cultural awareness and interpretation, and traditional ecological knowledge in landcare.

Separate registration - [CLICK HERE](#) for more information

PARTNER ACTIVITIES

Registration is required for all activities – prices include GST. Please contact WALGA for more information should your partner be interested in attending a particular conference session.

SUNDAY, 19 September

Fremantle Tour

8:30am – 4:00pm \$175

Departing Crown Perth at 8:30am we make our way to Fremantle where you will be taken on a private tour of Fremantle Prison. Following the tour, we will replenish ourselves with a two-course lunch at the National Hotel. From there we do a short walking tour of Fremantle before heading back to Crown Perth via train.

Please note: We recommend comfortable walking shoes for this tour.

Includes: Coach transfer, morning tea, tour of Fremantle Prison, Lunch at the National Hotel, walking tour, return train to Crown Perth and Guide

(Minimum 15 – maximum 20)

Opening Welcome Reception

5:00pm – 6:30pm \$85

MONDAY, 20 September

Shaken not Stirred Cocktail Course

2:00pm – 4:00pm \$90

Get ready to have fun and learn how to make cocktails! Held at Crown Perth, your Cocktail Master will teach you insider mixologist techniques and fun facts about each cocktail. All you have to do is sip and enjoy while the demonstrations are given and the ingredients for the next cocktail are prepared.

Includes: 2-hour cocktail course

(Minimum 15 maximum 35)

Convention Gala Dinner at Optus Stadium

6:30pm – 11:00pm \$165

TUESDAY, 21 September

Breakfast with Jelena Dokic

7:30am – 8:45am \$95

Optus Stadium Tour and Morning Tea

8:30am – 11:30am \$70

This private tour presents an exclusive opportunity to explore Optus Stadium. It will be followed by morning tea at the gorgeous City View Café.

Please note: We recommend comfortable walking shoes for this tour and a reasonable level of fitness as there is a lot of walking involved.

Includes: Guide, Morning Tea and Private Tour of Optus Stadium.

(Minimum 12 – maximum 20)

Matagarup Bridge Climb and Zip

12:30pm – 4:00pm \$175

Dare if you will, to climb Matagarup Bridge and Zip down. Afterwards we will have celebratory drinks and nibbles at The Camfield Tavern.

Includes: Matagarup Bridge Zip & Climb Adventure for 2 hours, Drinks & Nibbles and Guide

(Minimum 8 – maximum 16)

GENERAL INFORMATION

ONLINE CONVENTION REGISTRATIONS

Visit www.walga.asn.au/lgc21 to complete your registration online

Full Delegate fees cover the daily conference program, lunches, refreshments, and the Opening Reception on Sunday, 19 September. The Convention Gala Dinner on Monday evening and Convention Breakfast on Tuesday morning are optional, and a ticket fee applies.

Convention Fees

Prices are per person and are all inclusive of GST.

Deadline for all Registrations is
Wednesday, 1 September 2021

Convention Registration

Full Delegate	\$1,200
WALGA Life Members	Complimentary
Corporate	\$1,500

Optional Extras

ALGWA AGM and Breakfast (Monday)	\$70
Gala Dinner at Optus Stadium (Monday)	
Delegates/Exhibitors/Partners	\$165
Life Members and their partners	\$95
Convention Breakfast with Jelena Dokic (Tuesday)	\$95

Partners/Guests

Opening Reception (Sunday)	\$85
Lunch (Monday/Tuesday)	\$50
Partner Tours	Individual tour fees as listed

Please contact WALGA for more information should your partner like to attend a particular conference session.

Changes to your registration

You can modify your online booking at any time before the close of registrations. Once you have completed your registration, an email with your confirmation number will be emailed to you. Click on the link and enter your confirmation number to make any changes or additions to your reservation.

Registration cancellations must be advised **in writing** prior to the deadline date of **Wednesday, 1 September**. Thereafter full fees are payable. Alternatively, a registration may be transferred to another member of the Council.

Special Requirements

Special dietary requirements, mobility or any other special needs should be indicated when registering – WALGA will use its best endeavours to meet these requests.

Accommodation

Hotel information is available at www.walga.asn.au/lgc21.

Reservations are to be made direct with hotel. Please note that city hotels have limited guest parking so please clarify these arrangements when booking.

Crown Perth Parking

There is a range of free, paid, undercover and open car parks at Crown Perth; including over 3000 free parking bays available across the property plus 50 accessible ACROD parking bays.

To view the Crown Perth Parking Map, please [CLICK HERE](#). Access to Crown Perth is also available via train (Armadale & Thornlie Lines), bus (Great Eastern Highway) and taxi/ride share.

Information in this brochure is correct at time of printing but may be subject to change



ENQUIRIES

Ulla Prill, Event Manager | T 08 9213 2043 | E registration@walga.asn.au

PRESENTED BY



WALGA

ONE70 LV1, 170 Railway Parade, West Leederville WA 6007

T (08) 9213 2000 | **E** info@walga.asn.au

www.walga.asn.au



WESTERN AUSTRALIAN
Electoral Commission

LGE 028

Mr Ian Holland
Chief Executive Officer
Shire of Yalgoo
PO Box 40
YALGOO WA 6635

Dear Mr Holland

Local Government Ordinary Election: 2021

Thank you for your email dated 3 June requesting a cost estimate to conduct the Shire of Yalgoo local government election as a postal election.

The estimated cost for the 2021 election if conducted as a postal ballot is \$10,500 inc GST, which has been based on the following assumptions:

- 110 electors
- response rate of approximately 60%
- 3 vacancies
- count to be conducted at the offices of the Shire of Yalgoo
- appointment of a local Returning Officer
- regular Australia Post delivery service to apply.

An additional amount of \$22.00 will be incurred if your Council decides to opt for the Australia Post Priority Service for the lodgement of election packages

Costs not incorporated in this estimate include:

- non-statutory advertising (ie any additional advertisements in community newspapers and promotional advertising)
- any legal expenses other than those that are determined to be borne by the Western Australian Electoral Commission in a Court of Disputed Returns
- one local government staff member to work in the polling place on election day
- any unanticipated costs arising from public health requirements for the COVID-19 pandemic.

The Commission is required by the Local Government Act to conduct local government elections on a full cost recovery basis and you should note that this is an estimate only and may vary depending on a range of factors including the cost of materials or number of replies received. The basis for charges is all materials at cost and a margin on staff time only.

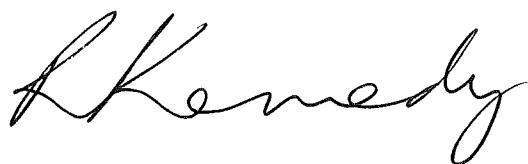
The current procedure required by the Act is that my written agreement has to be obtained before the vote by Council is taken. To facilitate the process, you can take this letter as my agreement to be responsible for the conduct of the ordinary elections in 2021 for the Shire of Yalgoo in accordance with section 4.20(4) of the *Local Government Act 1995*, together with any other elections or polls that may also be required. My agreement is subject to the proviso that the Shire of Yalgoo also wishes to have the election undertaken by the Western Australian Electoral Commission as a postal election.

In order to achieve this, your Council would need to pass the following two motions by absolute majority:

- Declare, in accordance with section 4.20(4) of the *Local Government Act 1995*, the Electoral Commissioner to be responsible for the conduct of the 2021 ordinary elections together with any other elections or polls which may be required
- Decide, in accordance with section 4.61(2) of the *Local Government Act 1995* that the method of conducting the election will be as a postal election.

I look forward to conducting this election for the Shire of Yalgoo in anticipation of an affirmative vote by Council.

Yours sincerely

A handwritten signature in black ink, appearing to read 'R Kennedy', written in a cursive style.

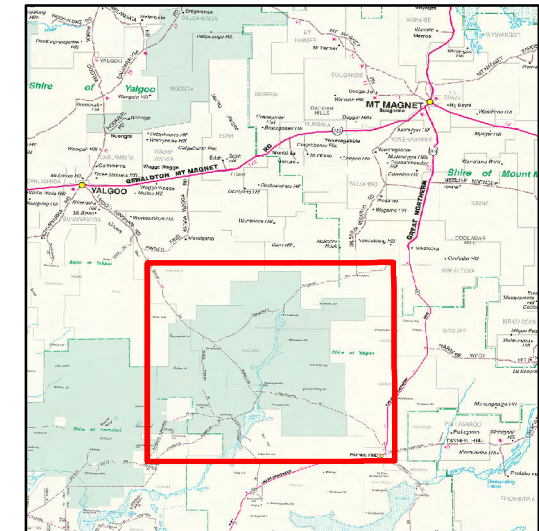
Robert Kennedy
ELECTORAL COMMISSIONER

4 June 2021

Proposed Road Actions for Thundelarra Conservation Park

Legend

- Proposed Thundelarra Conservation Park
- Existing Conservation Park



1:400,000
(A4)

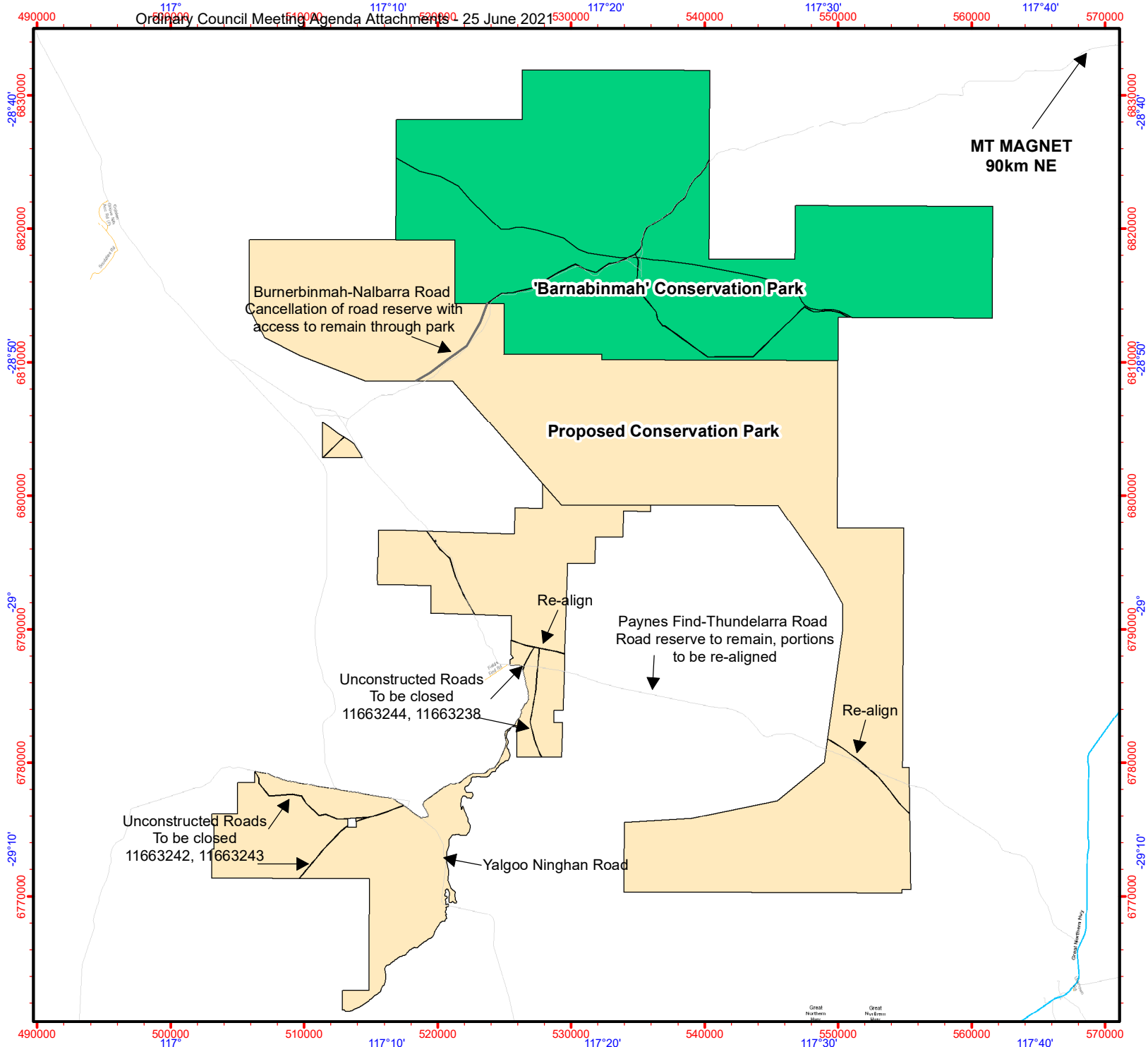


GDA2020 MGA Zone 50

Produced by the
Department of
Biodiversity, Conservation
and Attractions



Produced at 11:11am, on Mar 19, 2021



Graticule shown at 10 minutes intervals
Grid shown at 10000 metre intervals

The Dept. of Biodiversity, Conservation and Attractions does not guarantee that this map is without flaw of any kind and disclaims all liability for any errors, loss or other consequence which may arise from relying on any information depicted.

Roads and tracks on land managed by DBCA may contain unmarked hazards and their surface condition is variable. Exercise caution and drive to conditions on all roads.



RACHEL
WEAVER
Studio 8T4

LOGO CONCEPTS
SHIRE OF YALGOO

D e s i g n w o r k b y R a c h e l W e a v e r

rachel@studio8T4.com

25.03.21

V . II

🦋 STAGE II: Colour palette development

www.studio8T4.com



SHIRE OF YALGOO

Solid Sky - Arc

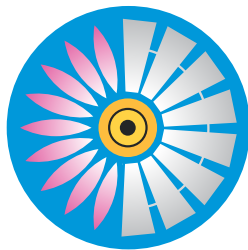


SHIRE OF YALGOO

Solid Sky - Rectangular



Matching Icon
Transparent



Matching Icon
Solid Sky

Blue Skies Ahead SOLID SKY

The warm tones are back, but have been bumped up in brightness and saturation for a more vibrant palette. These hot colours are energetic and alive, conveying Yalgoo as a vibrant and engaged community.

The Everlasting Wildflower is bright pink, (one of its natural shades) which also represents the hot sun rising over the land.

Pink is a kind and exciting colour. It's playful and outgoing, often associated with love and compassion.

Orange is optimistic and uplifting, a colour that encourages social communication and creativity.

Yellow is a colour associated with sunshine, optimism and joy. It's cheerful and welcoming, with connotations of friendship.

The blue sky speaks of freedom, wide open spaces and a positive outlook on days ahead. The cool blue compliments the warm tones, creating a colourful and unique combination.

This palette has been inspired by the Art Centre murals.

**Rock is now brown as requested. Colour saturation and luminance of wildflower/windmill icon has been adjusted. Shown in both an arc and rectangle shape for comparison, on a solid blue sky.*

Logo Deconstruction



Emu



Everlasting



Windmill



Rising Sun



Three Deckers



Mining



Church



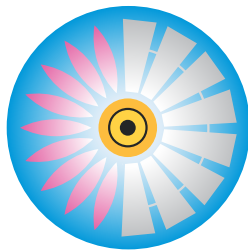
Atmospheric Sky - Arc



Atmospheric Sky - Rectangular



Matching Icon
Transparent



Matching Icon
Atmospheric Blue Sky

Logo Deconstruction



Everlasting



Windmill



Emu



Rising Sun



Three Deckers



Mining



Church

Blue Skies Ahead ATMOSPHERIC BLUE SKY

The warm tones are back, but have been bumped up in brightness and saturation for a more vibrant palette. These hot colours are energetic and alive, conveying Yalgoo as a vibrant and engaged community.

The Everlasting Wildflower is bright pink, (one of its natural shades) which also represents the hot sun rising over the land.

Pink is a kind and exciting colour. It's playful and outgoing, often associated with love and compassion.

Orange is optimistic and uplifting, a colour that encourages social communication and creativity.

Yellow is a colour associated with sunshine, optimism and joy. It's cheerful and welcoming, with connotations of friendship.

The blue sky speaks of freedom, wide open spaces and a positive outlook on days ahead. The cool blue compliments the warm tones, creating a colourful and unique combination.

This palette has been inspired by the Art Centre murals.

**Rock is now brown as requested. Colour saturation and luminance of wildflower/windmill icon has been adjusted. Shown in both an arc and rectangle shape for comparison, on an atmospheric blue sky.*

Wild Dog Bounty Scheme Policy – Opportunistic Shooting

Purpose

To determine the circumstances in which the Shire of Yalgoo will pay individuals or companies a set bounty for the eradication of a wild dog and the supply of remains for data logging with Meekatharra Rangelands Biodiversity Association.

Objectives

To support the reduction of wild dogs (being a declared pest) within the Shire of Yalgoo. Effective wild dog management requires an integrated approach utilising all available management practices including poison baiting, trapping, exclusion fencing and opportunistic shooting.

The Shire wishes to value add to eradication efforts and not subsidise existing staff or pastoral arrangements. This bounty aims to promote safe and legal opportunistic shooting of wild dogs.

Eligibility:

- a) No payment may be received by the applicant from any other source (before or after) for the destruction, trapping or shooting of any wild dog claimed. Paid positions such as Licensed Pest Management Technicians/Doggers, DBCA employees and Shire Rangers are not eligible.
- b) The wild dog is to have been destroyed within the Shire of Yalgoo, legally and with the written permission of the landholder on which it was destroyed.
- c) The Claim Form is completed correctly and submitted to the Shire of Yalgoo confirming that all eligibility criteria has been met.
- d) The applicant is the person who destroyed the wild dog/s humanly and legally.
- e) Scalps and tails are supplied in an appropriate condition to the Shire of Yalgoo Office or Depot during normal operating hours as per this policy.
- f) Claims are received by the Shire within 2 months of being destroyed.
- g) The Shire has not exhausted its budgeted funds for a particular financial year and applications will be determined in order of receipt.
- h) The dog has at no point been your or an immediate family members pet or the offspring of any such pet.

Acceptable Condition of Wild Dog Body Parts

Applicants must submit pieces of wild dog skin and fur, incorporating both ears and the strip of skin joining them in one piece and the tip of the tail as a second piece, to the Shire of Yalgoo Office at 37 Gibbons Street or the Shire Depot Stanley Street.

- The skin must be submitted in a manner that enables it to be easily identified as a wild dog; for example, being flat and air-dried.
- No blocks of frozen wild dog skins will be accepted.
- Frozen material must be defrosted prior to being submitted.
- No putrefying or rotting material will be accepted.
- No other body parts other than that specified will be accepted.

Legal Considerations

All legislation regarding the use of firearms, poisons, traps, and animal welfare must be adhered to at all times. Shooting must be conducted in an ethical manner that reduces the likelihood of unnecessary suffering of animals.

The scheme supports the use of the National Model Code of Practice for the Humane Control of Wild Dogs and associated Standard Operating Procedures.

Payment of Bounty

The following terms of payment will be carried out per application. The annual scheme will be deemed closed once the budgeted funds have been exhausted and until a new budget is adopted.

- Acceptable wild dog skin pieces, being the ears and the strip of skin joining them and the tip of the tail, will be rewarded at \$100 each exclusive of any GST
- Payment will be made within 30 days of receipt of a claim form. No payments will be made on submissions that are received after funds have been exhausted.
- Eligible applicants will be paid by electronic fund transfer to their nominated account. Payment will not be made on the day of collection.

General Conditions

- No scalps will be accepted after annual funds have been exhausted. Skins will not be taken pro-rata. Council may review the funds allocated per annum at their discretion.
- The Shire of Yalgoo CEO reserves the right to reject material submitted for bounty reward if the CEO deems the submitted material does not meet this policy.
- The decisions of the CEO to accept or reject entire wild dog skin pieces submitted for bounty reward are final and non-negotiable.

Note

1. Payment will not be authorised unless all paperwork is presented and completed correctly.
2. 'CEO' means the Chief Executive Officer, Shire of Yalgoo.
3. 'DBCA' means the Department of Biodiversity, Conservation & Attractions.
4. Some information within this scheme is referenced from other sources.

For further information on the Yalgoo Wild Dog Bounty please contact:

CEO, Shire of Yalgoo
37 Gibbons St Yalgoo WA 6635
Phone: 08 9962 8042
Email: pa@yalgoo.wa.gov.au



GENERAL ATTACHMENTS



AGENDA ITEM N^o 1 1.2.

1 1.2.1 DEVELOPMENT APPROVAL APPLICATION – MT GIBSON
SANCTUARY DA (LOT 4253) PAGE: 1 - 39

1 1.2.2 DEVELOPMENT APPROVAL APPLICATION – BATTERY
ROAD DWELLING DA (LOT 4235) PAGE: 40 - 80



BAL-19 TO AS3959-2018
CONSTRUCTION NOTES

TO COMPLY WITH SECTION 3 AND 5 OF AS3959-2018 INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

FLOOR
CONCRETE SLAB ON GROUND

EXTERNAL WALLS
90mm THICK WELD STEEL STUD SECTIONS

JOINTS
ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 3mm.

VENTS AND WEEPHOLES
VENTS AND WEEPHOLES IN EXTERNAL WALLS SHALL BE SCREENED WITH ALUMINIUM MESH WITH A MAXIMUM APERTURE OF 2mm, EXCEPT WHERE THE VENTS AND WEEPHOLES HAVE AN APERTURE LESS THAN 3mm.

SCREENS FOR WINDOWS & DOORS
ALUMINIUM MESH WITH A MAX. APERTURE OF 2mm. FRAME SUPPORTING MESH SHALL BE ALUMINIUM. GAPS BETWEEN THE PERIMETER OF THE SCREEN ASSEMBLY AND THE BUILDING ELEMENTS TO WHICH IT IS FITTED SHALL NOT EXCEED 3mm.

WINDOW / GLAZING (UNLESS NOTED OTHERWISE)
POWDER-COATED ALUMINIUM FRAMED. WHERE GLAZING IS LESS THAN 400mm FROM THE GROUND, GLAZING TO BE MIN. 5mm THICK TOUGHENED GLASS. OPENABLE PORTION OF WINDOW TO BE SCREENED EXTERNALLY WITH SCREENS AS DESCRIBED ABOVE.

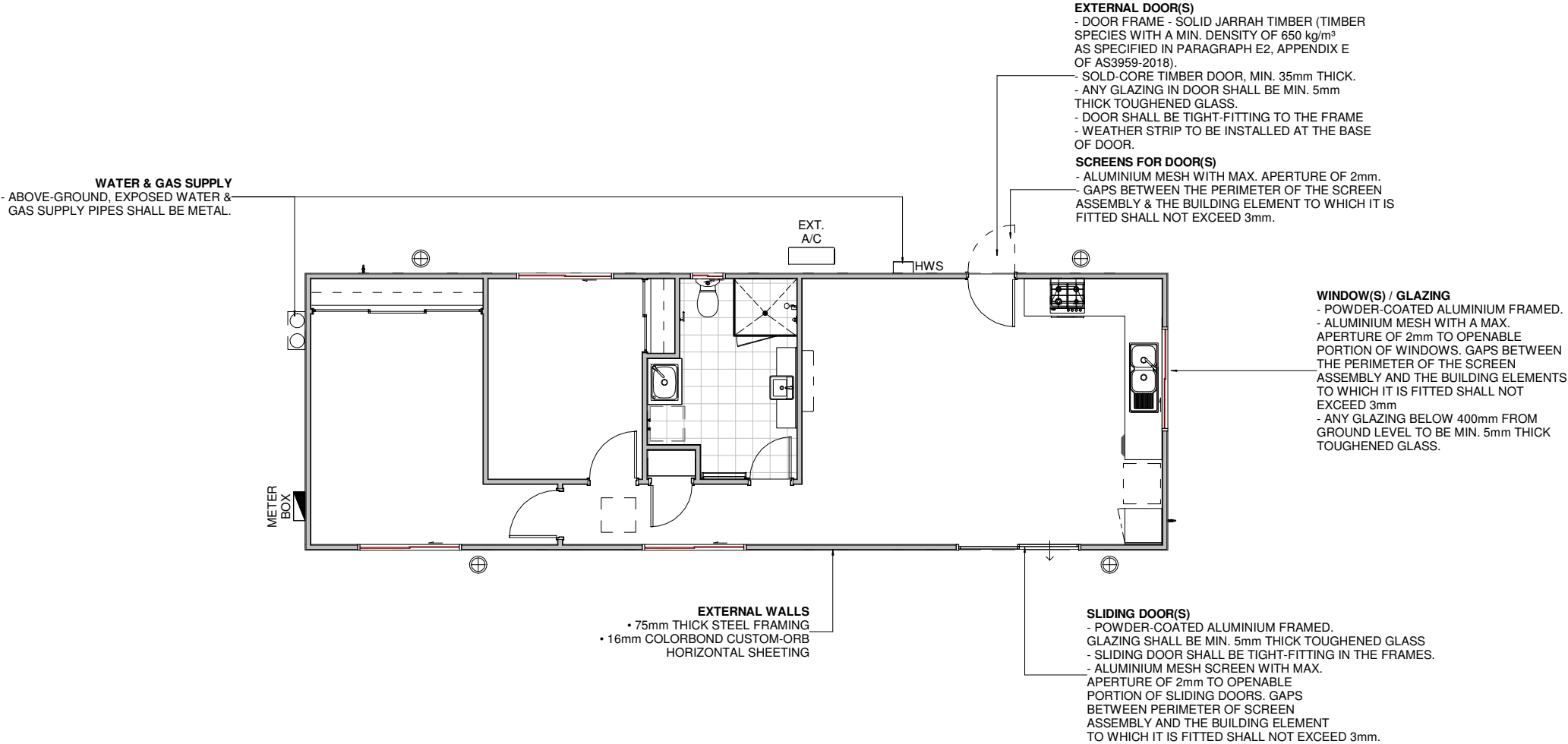
ROOF
METAL ROOF SHEETING. ALL ROOF ACCESSORIES TO BE NON-COMBUSTIBLE.

SHEET ROOF / WALL JUNCTION SHALL BE SEALED, TO PREVENT OPENINGS GREATER THAN 3mm, EITHER BY THE USE OF FASCIA AND EAVES LININGS.

ROOF TO BE FULLY SARKED. SARKING SHALL:
• BE LOCATED ON TOP OF ROOF FRAMING, FOILED BACKED INSULATION MAY BE FIXED ABOVE THE ROOF BATTENS; AND
• COVER THE ENTIRE ROOF INCLUDING THE RIDGE AND HIPS; AND
• EXTEND INTO THE GUTTERS AND VALLEYS.


GAPS GREATER THAN 3mm (SUCH AS UNDER CORRUGATIONS OR RIBS OF ROOF SHEETING AND BETWEEN ROOF COMPONENTS) SHALL BE SEALED AT THE FASCIA OR WALL LINE AND AT VALLEYS, HIPS AND RIDGES BY:
• ALUMINIUM MESH WITH MAX. APERTURE OF 2mm; OR
• MINERAL WOOL; OR
• OTHER NON-COMBUSTIBLE MATERIALS; OR
• A COMBINATION OF THE ABOVE ITEMS.

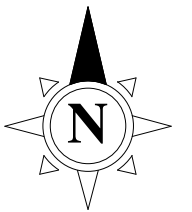
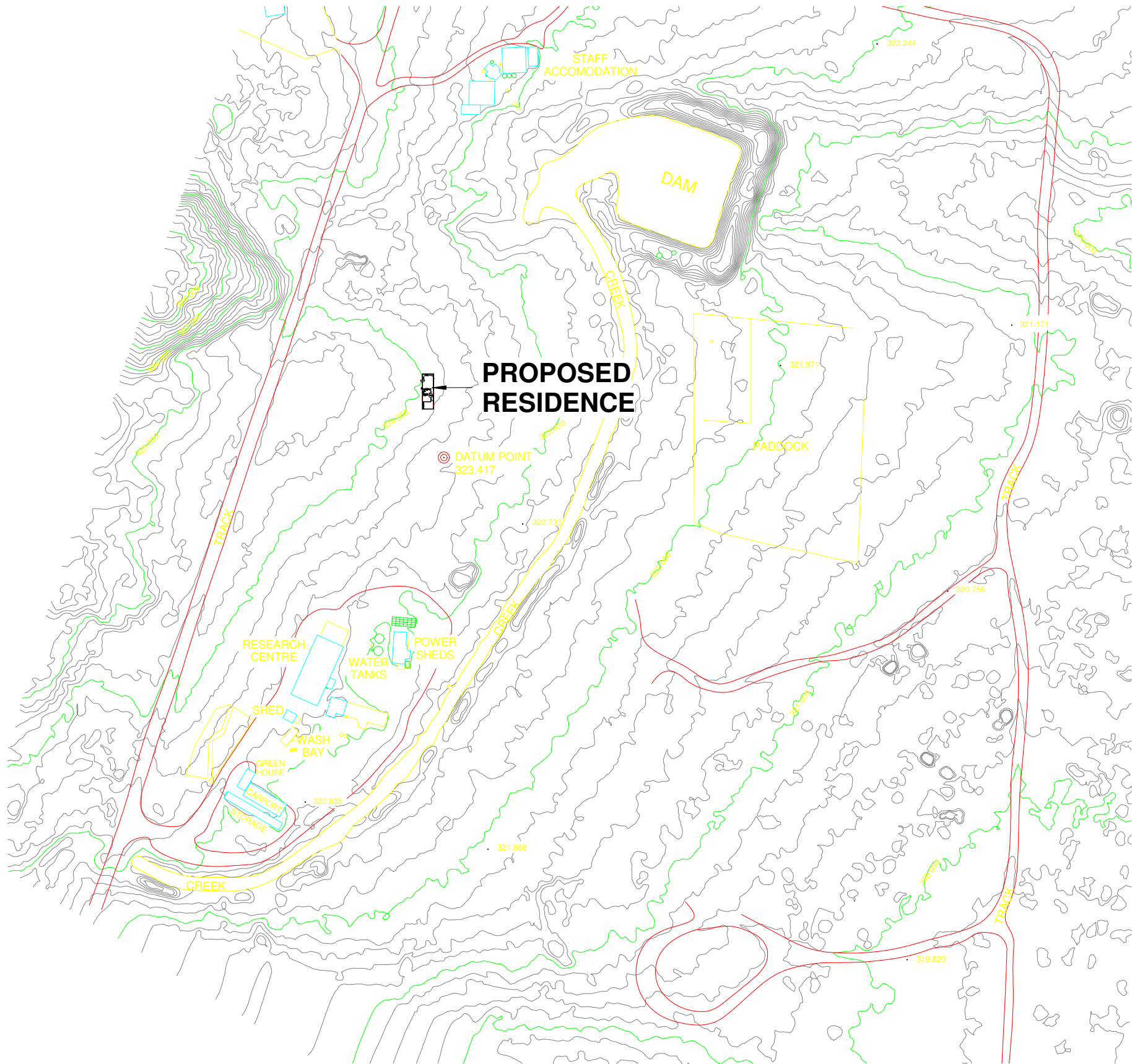
ROOF PENETRATION SUCH AS ROOF VENTS
• SHALL BE FITTED WITH ALUMINUM EMBER GUARDS WITH MAX. APERTURE OF 2mm.
• SHALL BE SEALED AT THE ROOF TO PREVENT GAPS GREATER THAN 3mm. THE MATERIAL USED TO SEAL THE PENETRATION SHALL BE NON-COMBUSTIBLE.



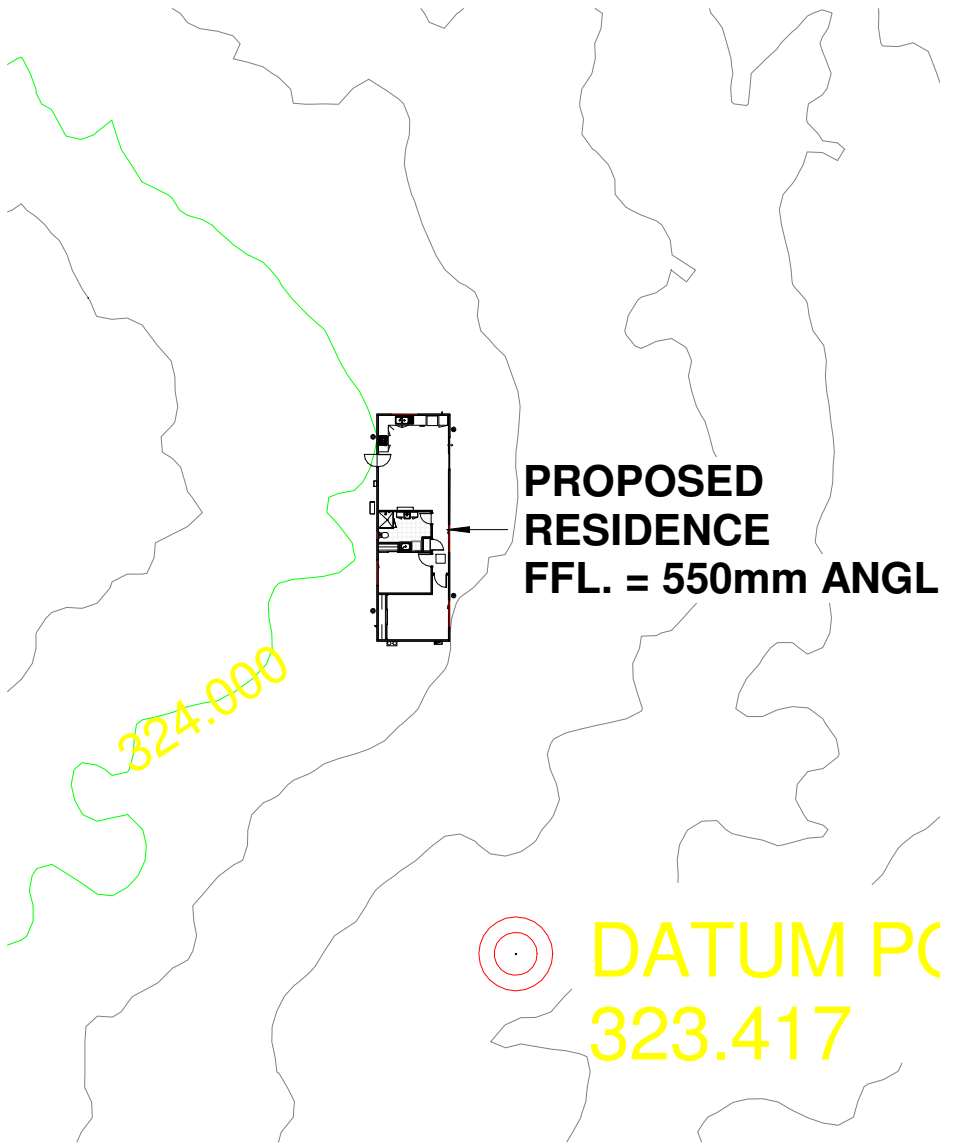
BAL CONSTRUCTION PLAN

1 : 100

CLIENT:	MT GIBSON WILDLIFE SANCTUARY	<table><tr><th>Rev</th><th>Description</th><th>Date</th></tr><tr><td>A</td><td>Prepare PPA plans</td><td>29/10/20</td></tr><tr><td>B</td><td>Re-orientate building on site plan</td><td>05/11/20</td></tr><tr><td>C</td><td>Prepare working drawings</td><td>09/11/20</td></tr><tr><td>D</td><td>Change address, change external cladding, add barrier door,</td><td>11/11/20</td></tr><tr><td>E</td><td>Prestart changes as per CV-1</td><td>08/04/21</td></tr><tr><td></td><td></td><td></td></tr></table>	Rev	Description	Date	A	Prepare PPA plans	29/10/20	B	Re-orientate building on site plan	05/11/20	C	Prepare working drawings	09/11/20	D	Change address, change external cladding, add barrier door,	11/11/20	E	Prestart changes as per CV-1	08/04/21				JOB No.	20118	<div></div> <div>T: 08 64540919 F: 08 64540918 W: modularwa.com.au e: sales@modularwa.com.au Builders reg # 101630</div>
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		CHECKED:	ZY																							
		REV:	SHEET																							
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1 LOCATION PLAN
A101 1 : 2000



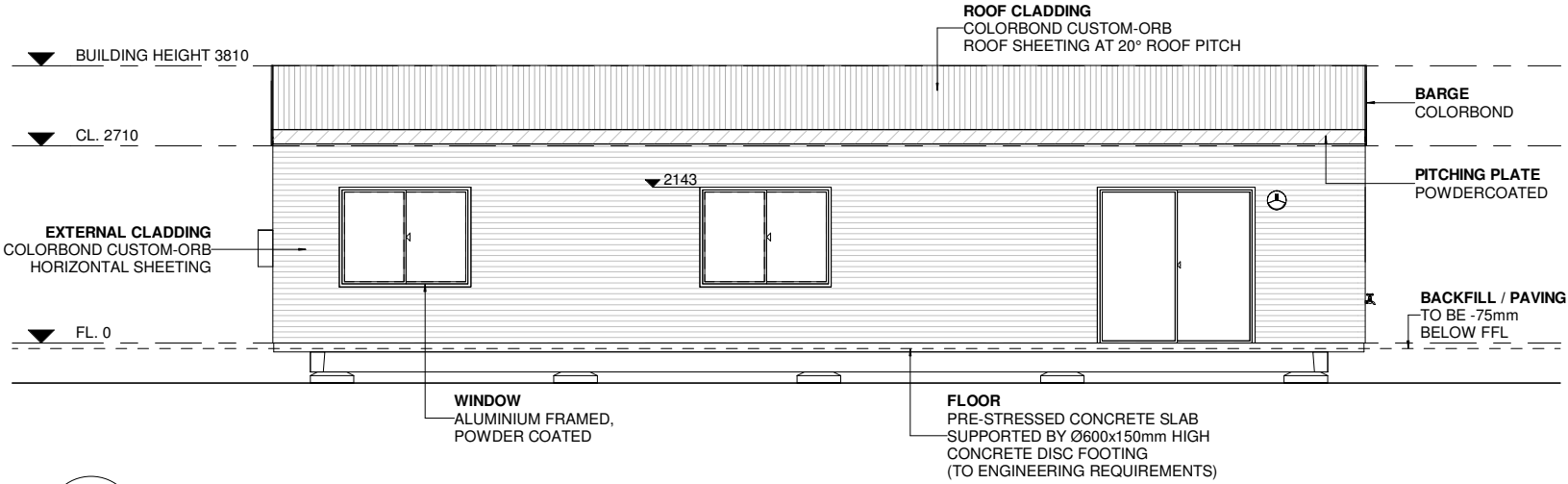
2 SITE PLAN
A101 1 : 500

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ADDRESS:	GREAT NORTHERN HWY VIA WUBIN
HOUSE TYPE:	AUGUSTA (TRADITIONAL)

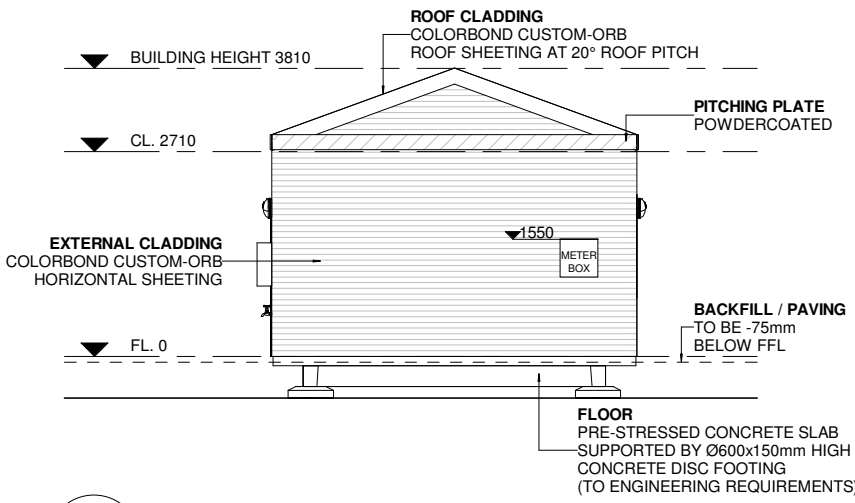
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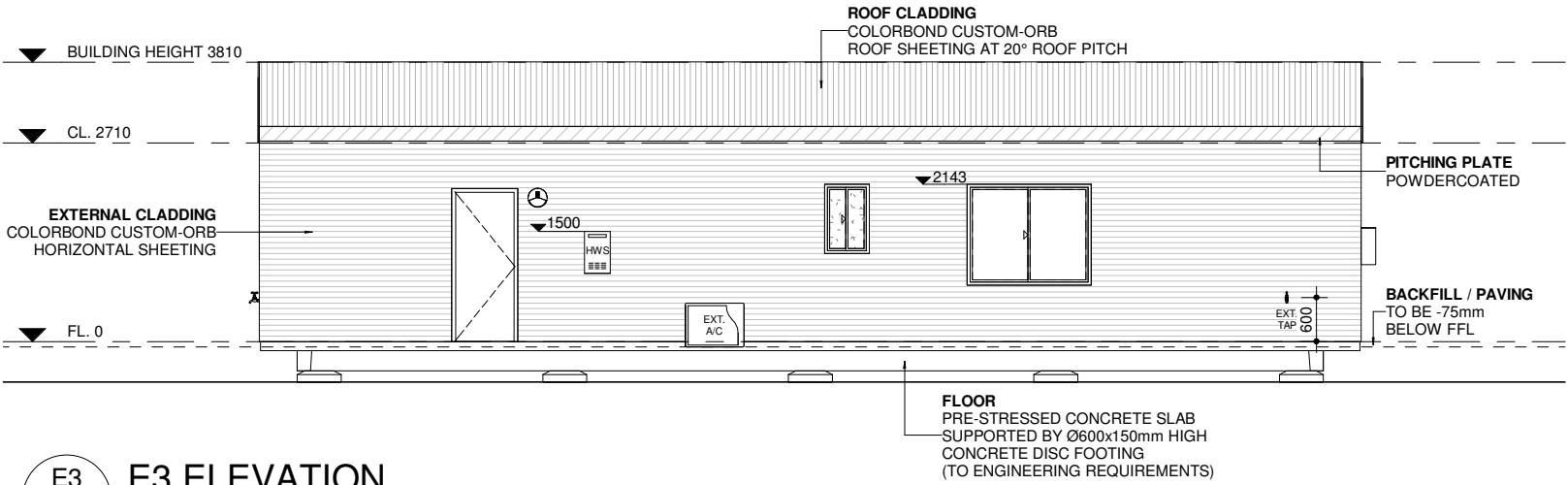
BACKFILL
BY OWNER



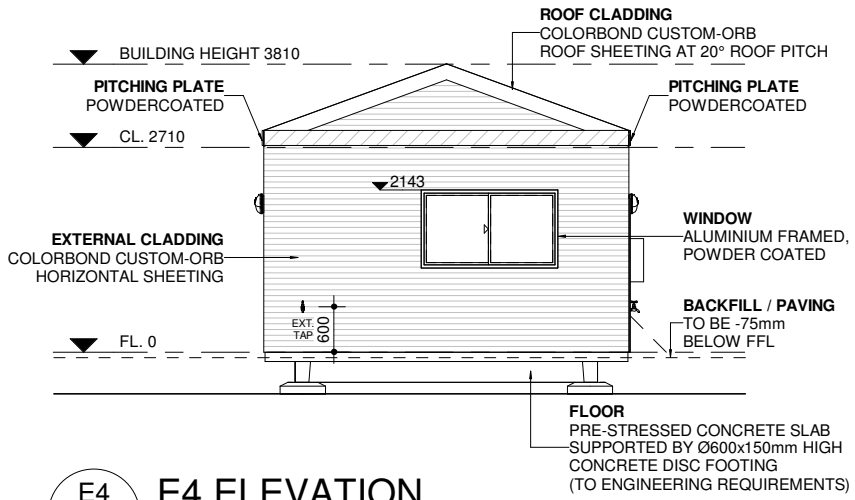
E1 E1 ELEVATION
A103 1 : 100




E2 E2 ELEVATION
A103 1 : 100



E3 E3 ELEVATION
A103 1 : 100



E4 E4 ELEVATION
A103 1 : 100

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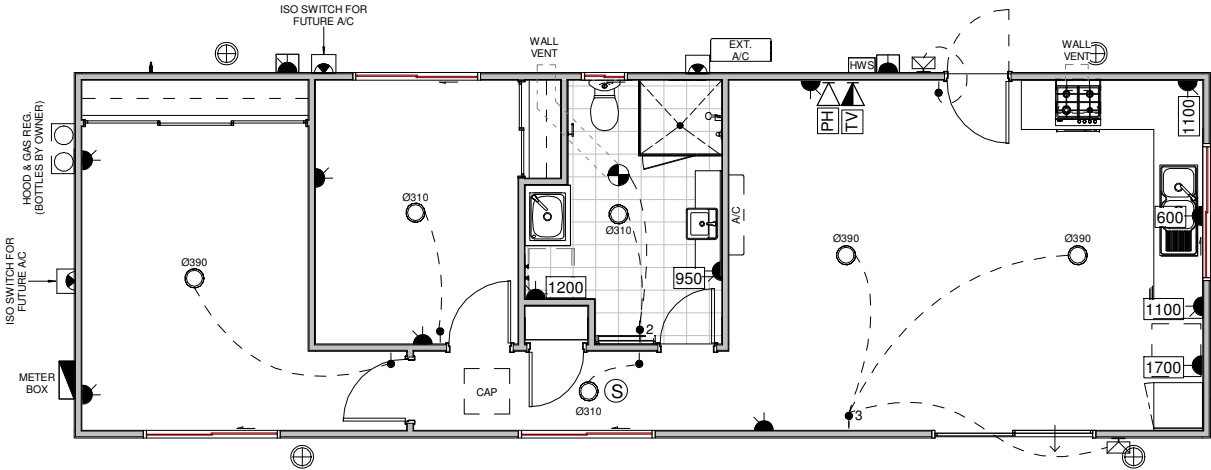
ELECTRICAL LEGEND	
	CEILING LIGHT - L.E.D OYSTER FITTING
	CEILING LIGHT - L.E.D DOWNLIGHT FITTING
	EXTERNAL WALL LIGHT
	EXTERNAL WALL LIGHT - UP/DOWN
	L.E.D. SURFACE MOUNTED BATTEN
	MOTION SENSOR
	SINGLE GPO
	DOUBLE GPO
	QUAD GPO
	SINGLE WEATHERPROOF GPO
	DOUBLE WEATHERPROOF GPO
	ISOLATION SWITCH
	AIR CONDITIONER UNIT ISOLATOR
	PHONE / DATA OUTLET
	TV POINT
	LIGHT SWITCH
	HARDWIRED SMOKE DETECTOR c/w BATTERY BACKUP
	EXHAUST FAN FLUMED
	HEAT / LIGHT / FAN
	LIGHT / FAN
	CEILING FAN
	CEILING FAN c/w LIGHT
	METER BOX

ELECTRICAL NOTES:

1. ALL ELECTRICAL HEIGHTS ARE MEASURED FROM FINISHED FLOOR LEVEL
2. ALL LIGHT SWITCHES TO BE 1200mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
3. INTERNAL GENERAL POWER OUTLETS, PHONE & DATA POINTS TO BE 300mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
4. EXTERNAL GENERAL POWER OUTLETS AND EXTERNAL ISO SWITCH TO BE 1200mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
5. EXTERNAL LIGHT FITTINGS TO BE 1900mm ABOVE FINISHED FLOOR LEVEL - MEASURED TO UNDERSIDE OF FITTING
6. POWER TO DISHWASHER RECESS, ELECTRIC OVEN, RANGEHOOD, HOT PLATE, HOT WATER SYSTEM.

AIR CONDITIONING NOTE:

1. ALL EXTERNAL A/C BOOTS TO BE LOCATED MIN. 400mm ABOVE FFL.
2. FIRE BLANKET TO BE INSTALLED AROUND PIPES PRIOR TO INSTALLING ALL EXTERNAL A/C BOOTS.




1

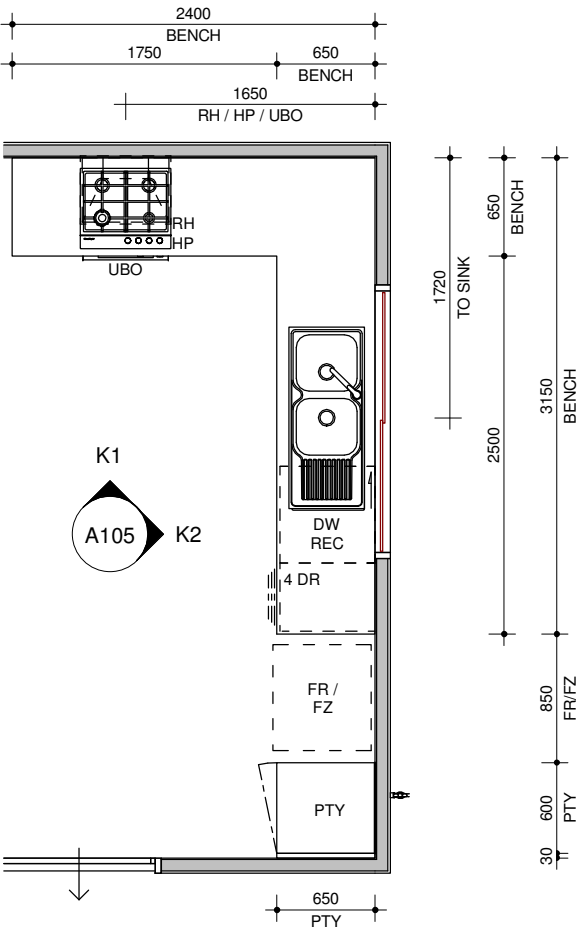
A104

ELECTRICAL PLAN

1 : 100

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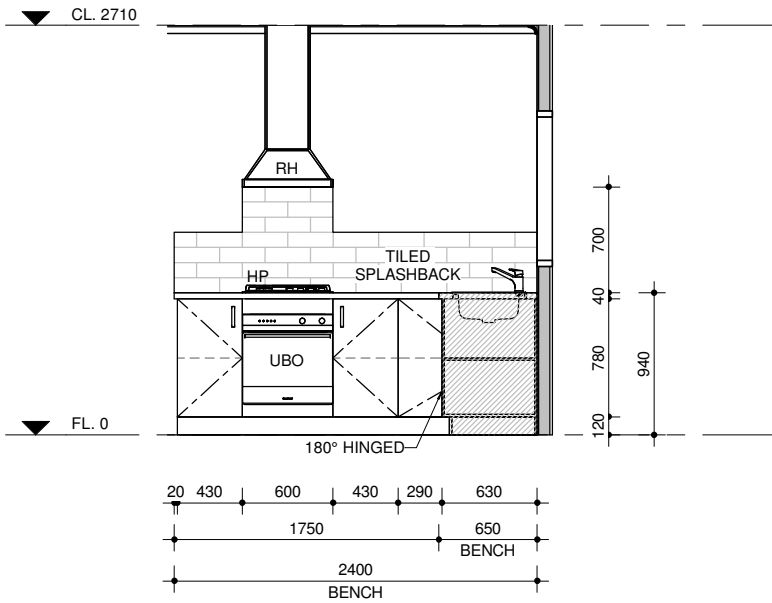
NOTE:
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FROM INTERNAL WALL LINING



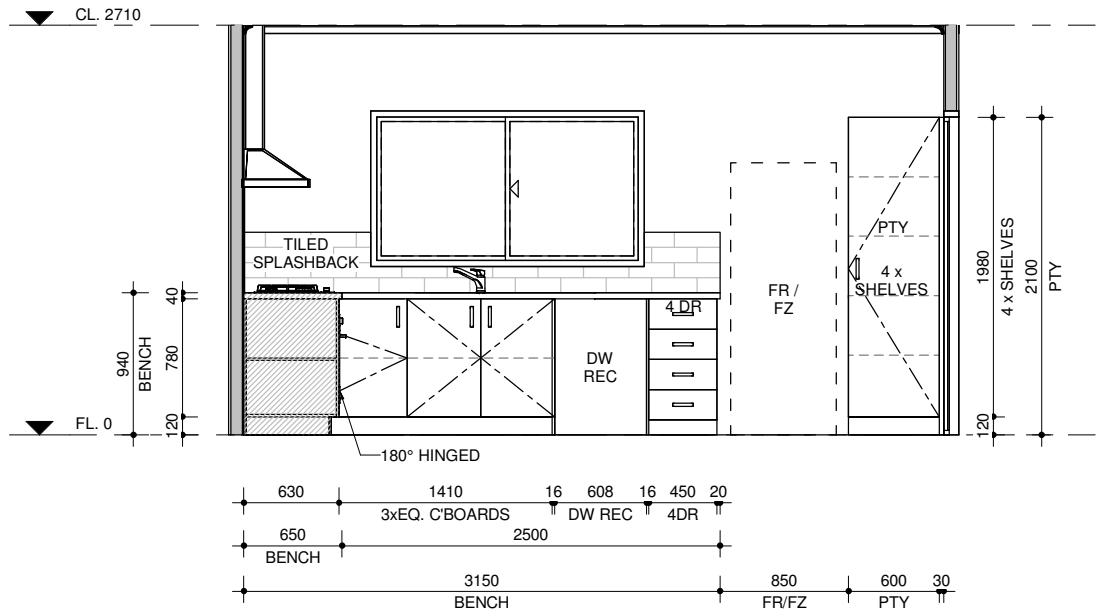
K1
A105

K2

K
A105
KITCHEN LAYOUT
1 : 50




K1
A105
K1 KITCHEN
1 : 50

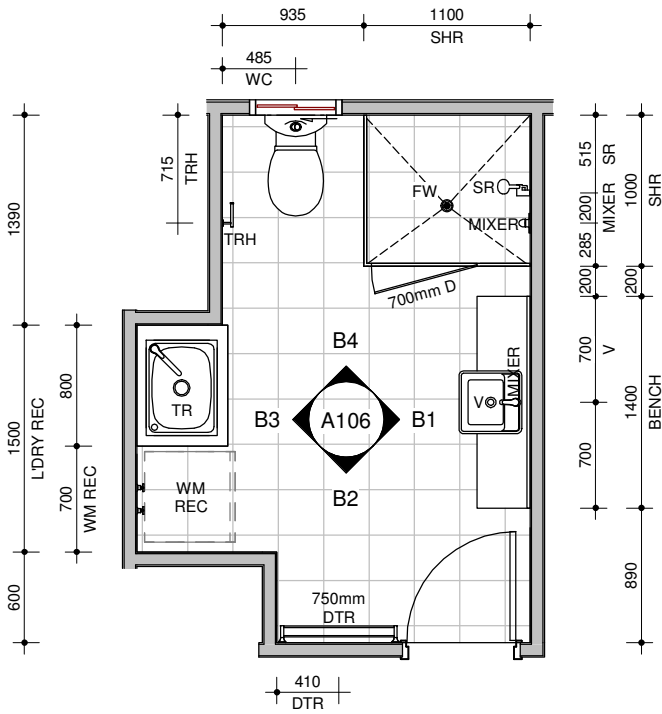


K2
A105
K2 KITCHEN
1 : 50

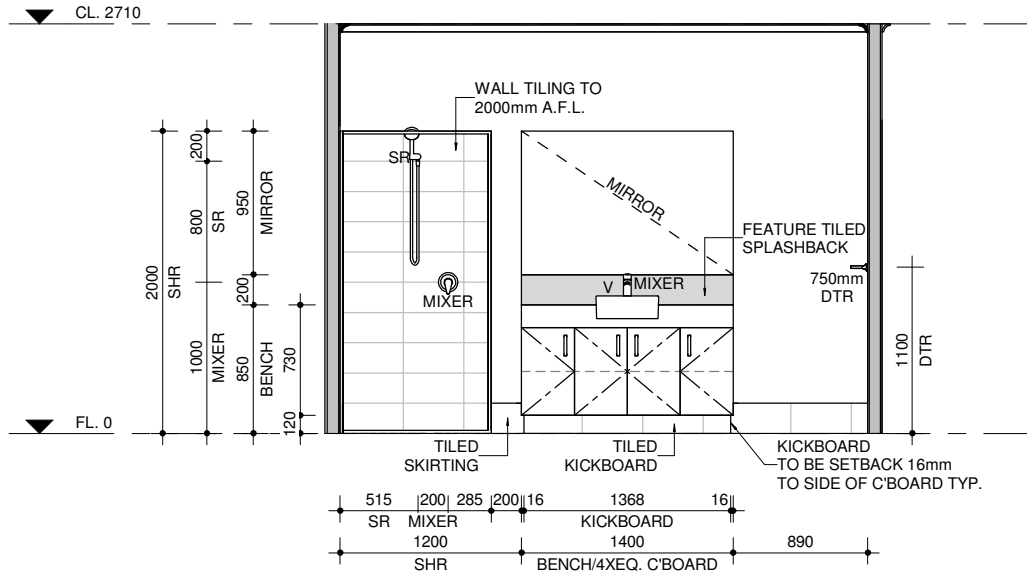
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A105		

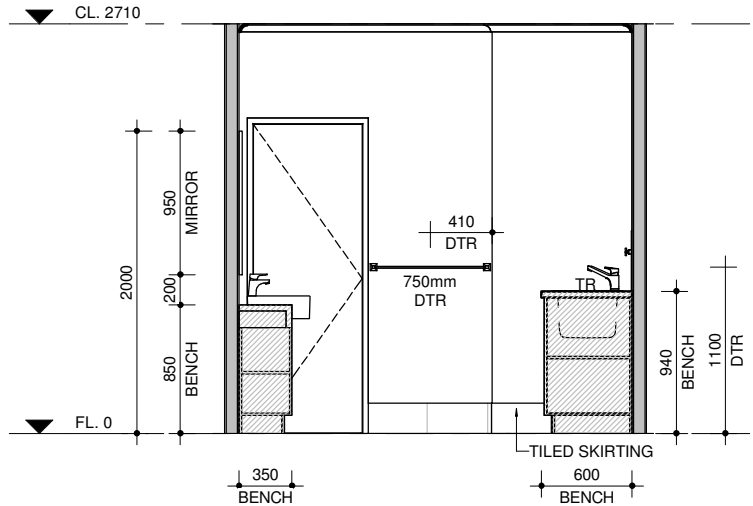
NOTE:
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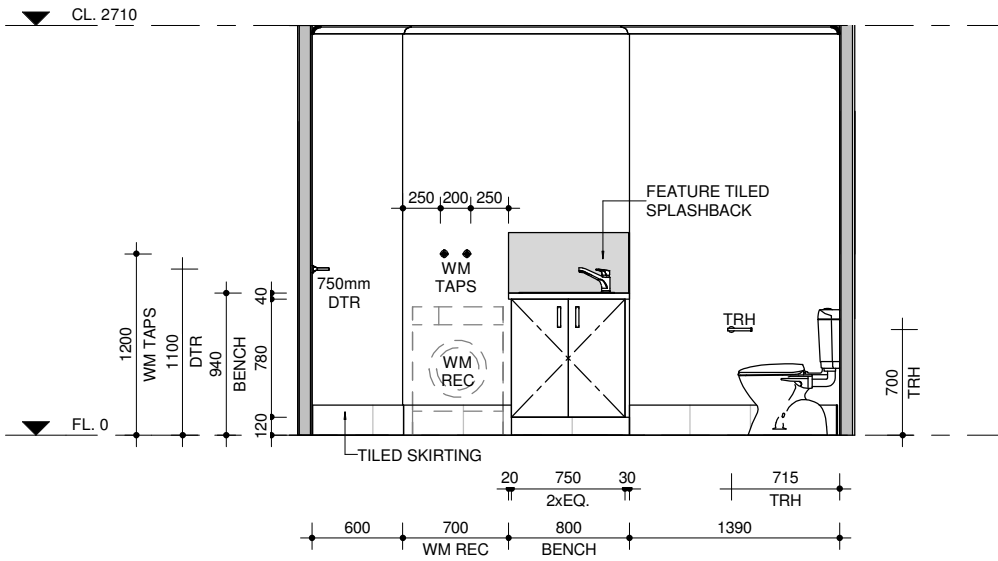
B BATH LAYOUT
A106 1 : 50



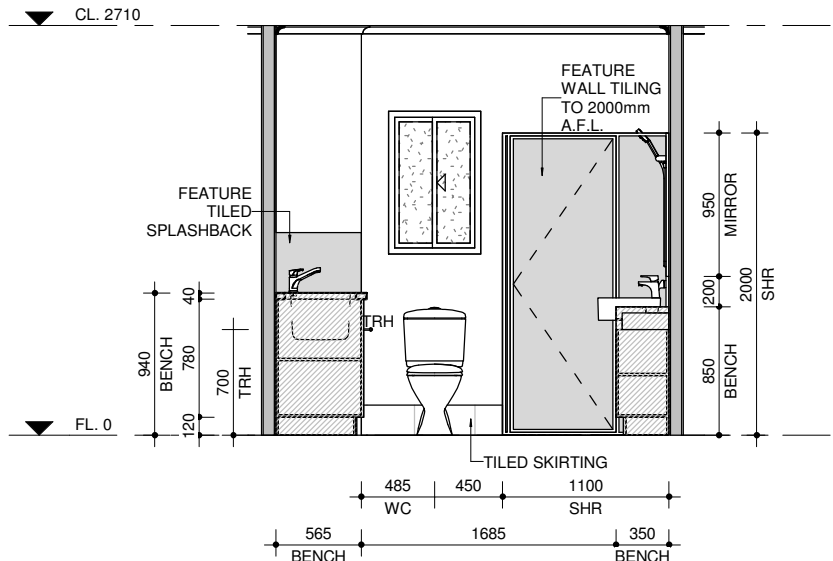
B1 B1 BATH
A106 1 : 50




B2 B2 BATH
A106 1 : 50

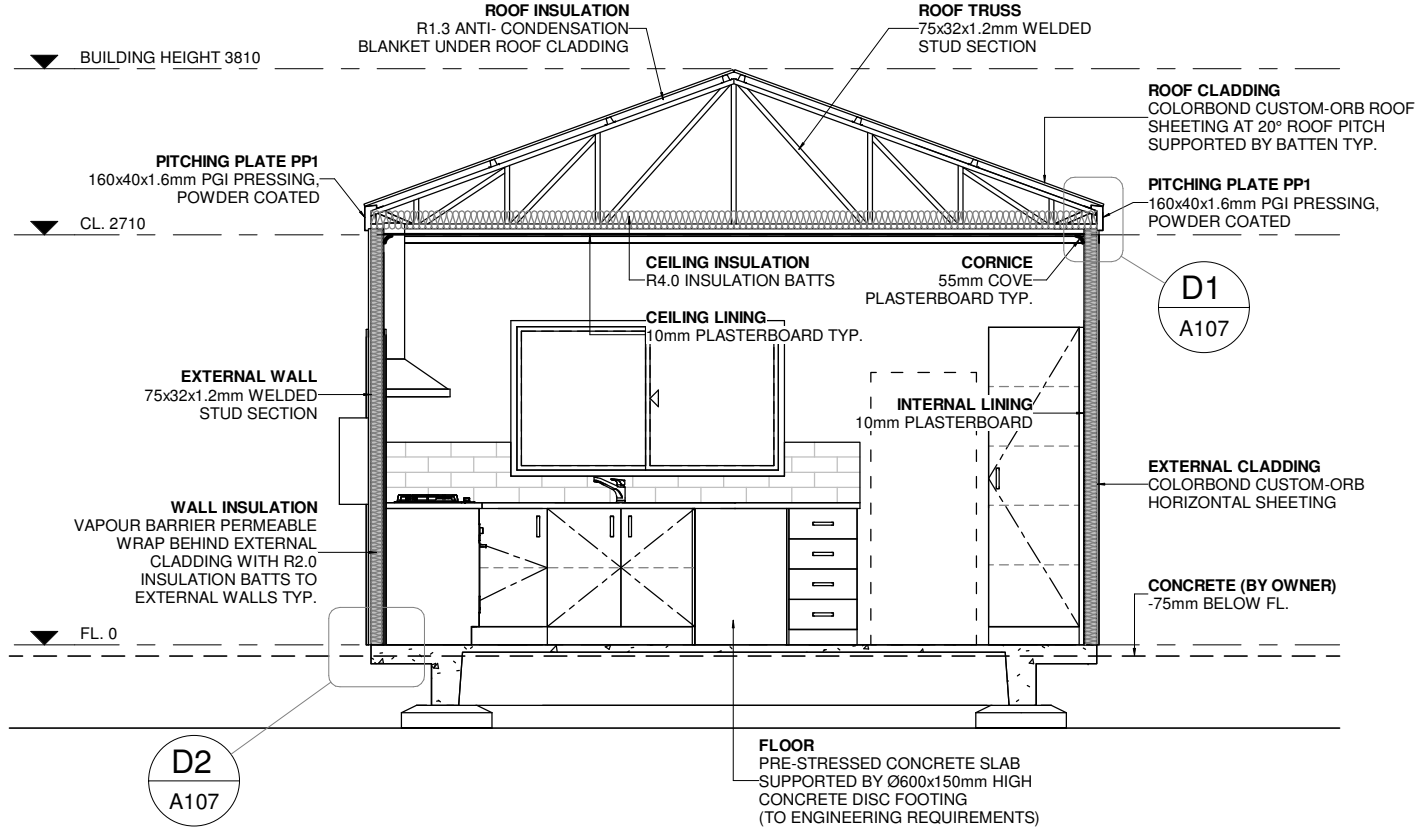


B3 B3 BATH
A106 1 : 50

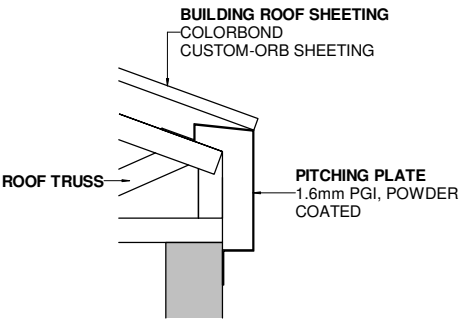


B4 B4 BATH
A106 1 : 50

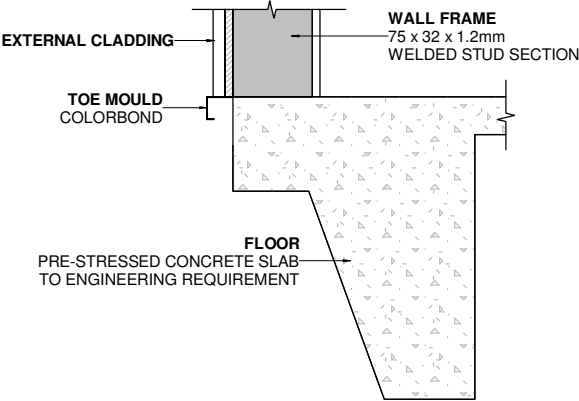
CLIENT:	MT GIBSON WILDLIFE SANCTUARY	<table><tr><th>Rev</th><th>Description</th><th>Date</th></tr><tr><td>A</td><td>Prepare PPA plans</td><td>29/10/20</td></tr><tr><td>B</td><td>Re-orientate building on site plan</td><td>05/11/20</td></tr><tr><td>C</td><td>Prepare working drawings</td><td>09/11/20</td></tr><tr><td>D</td><td>Change address, change external cladding, add barrier door,</td><td>11/11/20</td></tr><tr><td>E</td><td>Prestart changes as per CV-1</td><td>08/04/21</td></tr><tr><td></td><td></td><td></td></tr></table>	Rev	Description	Date	A	Prepare PPA plans	29/10/20	B	Re-orientate building on site plan	05/11/20	C	Prepare working drawings	09/11/20	D	Change address, change external cladding, add barrier door,	11/11/20	E	Prestart changes as per CV-1	08/04/21				JOB No.	20118	 <div>modularwa</div> <div>T: 08 64540919 F: 08 64540918 W: modularwa.com.au e: sales@modularwa.com.au Builders reg # 101630</div> <div>Use figured dimensions in preference to scaled. All dimensions to be verified and checked on the job. © .</div> <div>Copyright</div>
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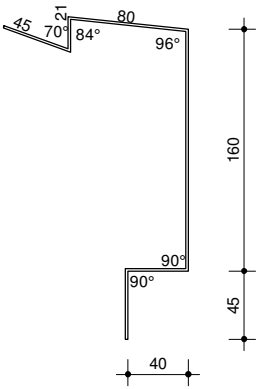
S1 BUILDING SECTION
A107 1 : 50



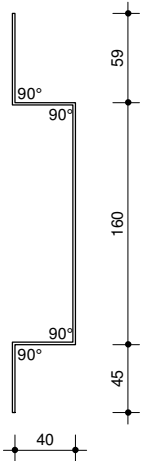
D1 PITCHING PLATE DETAIL
A107 1 : 10




D2 TOE MOULD DETAIL
A107 1 : 10



PP1 PITCHING PLATE PROFILE PP1
A107 1 : 5



PP2 PITCHING PLATE PROFILE PP2
A107 1 : 5

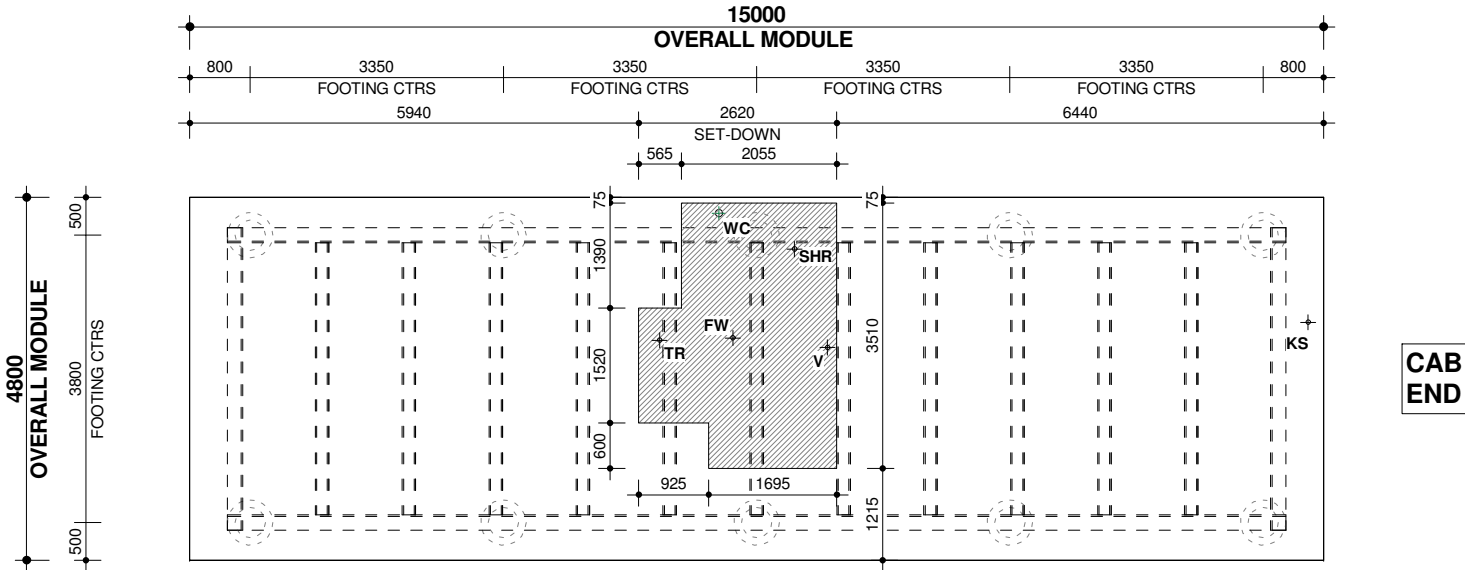
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As indicated																										

FOUNDATION NOTES:

1. FOUNDATION SOIL TO BE CLEAN, COMPACT, NATURAL GROUND, FREE OF EXCESSIVE MOISTURE.
2. GROUND SHALL BE COMPACTED TO ACHIEVE: FOR SAND SITES, MINIMUM 6 BLOWS OVER 150-450 MM, 7 BLOWS OVER 450-750 MM, AND 9 BLOWS OVER 750-1050 MM WITH A PERTH SAND PENETROMETER (AS1289.6.3.3) FOR COHESIVE/GRAVEL SITES, MINIMUM 6 BLOWS OVER 150MM USING A DYNAMIC CONE PENETROMETER (DCP) THROUGH ALL FILL OR TO 600MM IN NATURAL GROUND.
3. PREPARE SITE SUCH THAT SURFACE RUNOFF CANNOT DRAIN OVER OR UNDER FOUNDATIONS.
4. FOOTING HAS BEEN DESIGNED FOR SOIL CLASS "S"

DO NOT SCALE FROM THIS DRAWING
ALL CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO COMMENCEMENT OF ANY WORKS AND ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.

PENETRATIONS		
CIP	CAST IN PLATE	150 SQ
FW	FLOOR WASTE	65Ø
VB	VANITY BASIN	65Ø
SK	KITCHEN SINK	65Ø
TR	TROUGH	65Ø
WC	WC PAN	125Ø
SHR	SHOWER WASTE	125Ø




1

A108

CONCRETE SLAB PLAN

1 : 100

CLIENT:	MT GIBSON WILDLIFE SANCTUARY	<table><tr><th>Rev</th><th>Description</th><th>Date</th></tr><tr><td>A</td><td>Prepare PPA plans</td><td>29/10/20</td></tr><tr><td>B</td><td>Re-orientate building on site plan</td><td>05/11/20</td></tr><tr><td>C</td><td>Prepare working drawings</td><td>09/11/20</td></tr><tr><td>D</td><td>Change address, change external cladding, add barrier door,</td><td>11/11/20</td></tr><tr><td>E</td><td>Prestart changes as per CV-1</td><td>08/04/21</td></tr><tr><td></td><td></td><td></td></tr></table>	Rev	Description	Date	A	Prepare PPA plans	29/10/20	B	Re-orientate building on site plan	05/11/20	C	Prepare working drawings	09/11/20	D	Change address, change external cladding, add barrier door,	11/11/20	E	Prestart changes as per CV-1	08/04/21				JOB No.	20118	<div></div> <div>T: 08 64540919 F: 08 64540918 W: modularwa.com.au e: sales@modularwa.com.au Builders reg # 101630</div>
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Bushfire Attack Level Assessment Report

Prepared by a BPAD
Accredited Practitioner



Fire Protection Association Australia Life Property Environment



BAL Assessments, Bushfire Management Plans, Vulnerable Use,
Bushfire Emergency Evacuation Plans.

Phone:
Email:
Address:
Postal:

08 9555 9444
BAL@bushfiresmart.com.au
71 Allnutt Street, Mandurah, 6210
PO Box 4160, Mandurah North, WA, 6210

Bushfire Attack Level Assessment Report

Prepared by a BPAD Accredited Practitioner



Fire Protection Association Australia Life Property Environment



AS 3959 BAL Assessment Report

This report has been prepared by an Accredited BPAD Practitioner using the Simplified Procedure (Method 1) as detailed in Section 2 of AS 3959 – 2018. FPA Australia makes no warranties as to the accuracy of the information provided in the report. All enquiries related to the information and conclusions presented in this report must be made to the BPAD Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no -	Street no -	Lot no -	Street name / Plan Reference Great Northern Highway		
	Suburb Mount Gibson			State WA	Postcode 6448	
Local government area	Shire of Yalgoo					
Main BCA class of the building	Class 1b	Use(s) of the building	Residential			
Description of the building or works	New Building					

Report Details

Report / Job Number 21-7975	Report Version 1	Assessment Date 27 February 2021	Report Date 9 March 2021
--------------------------------	---------------------	-------------------------------------	-----------------------------

BPAD Accredited Practitioner Details

Name Nathan Peart	
Company Details 08 9555 9444 BPAL@bushfiresmart.com.au Address: 71 Allnutt Street, Mandurah, 6210 Postal: PO Box 4160, Mandurah North, WA, 6210 	

Authorised Practitioner Stamp

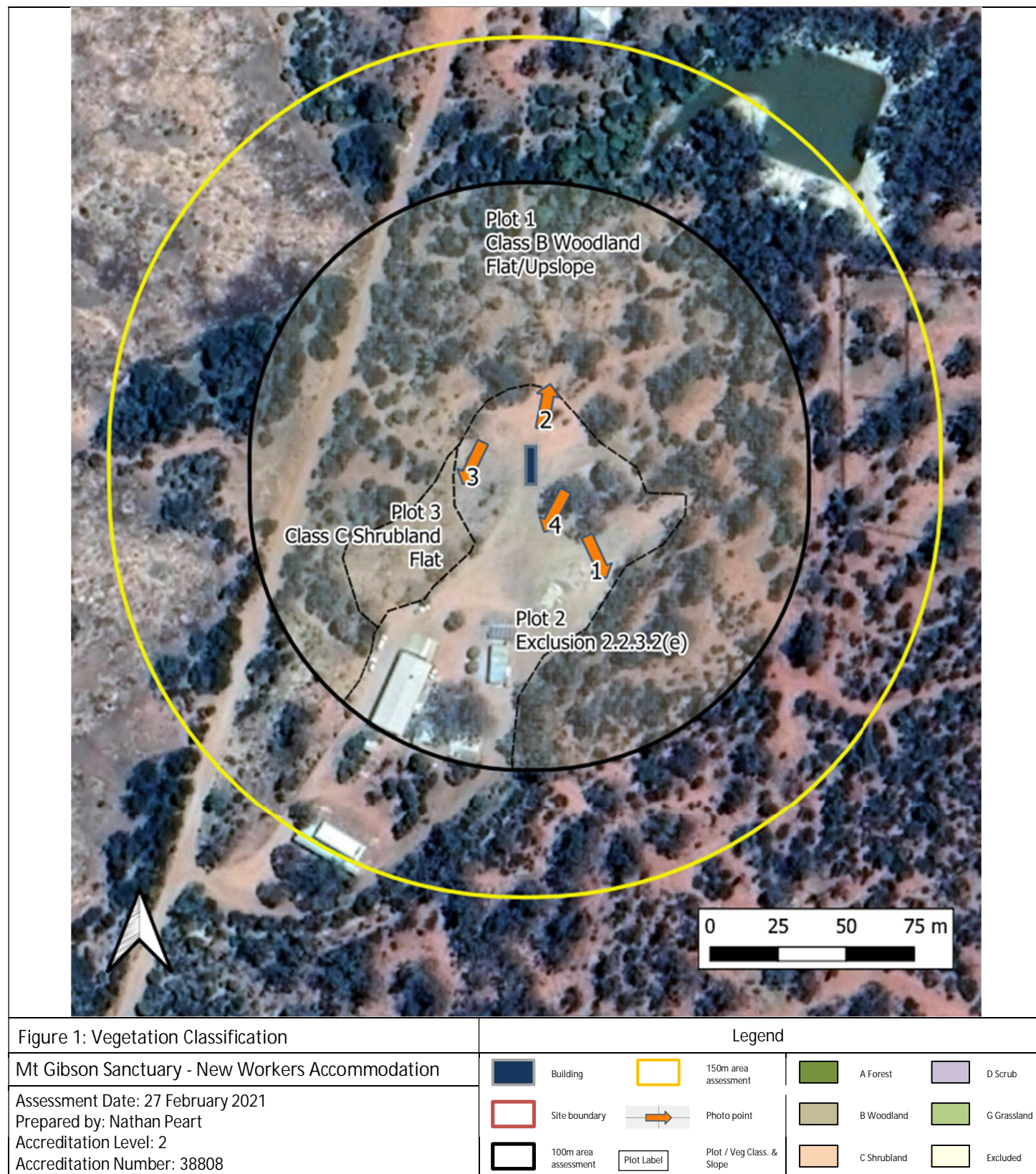
Reliance on the assessment and determination of the Bushfire Attack Level contained in this report should not extend beyond a period of 12 months from the date of issue of the report. If this report was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated report issued.

BAL Assessment Report

Fire Protection Association Australia Life Property Environment

Site Assessment & Site Plans

The assessment of this site was undertaken on 3 October 2020 by a BPAD Accredited Practitioner for the purpose of determining the Bushfire Attack Level in accordance with AS 3959–2018 Simplified Procedure (Method 1).


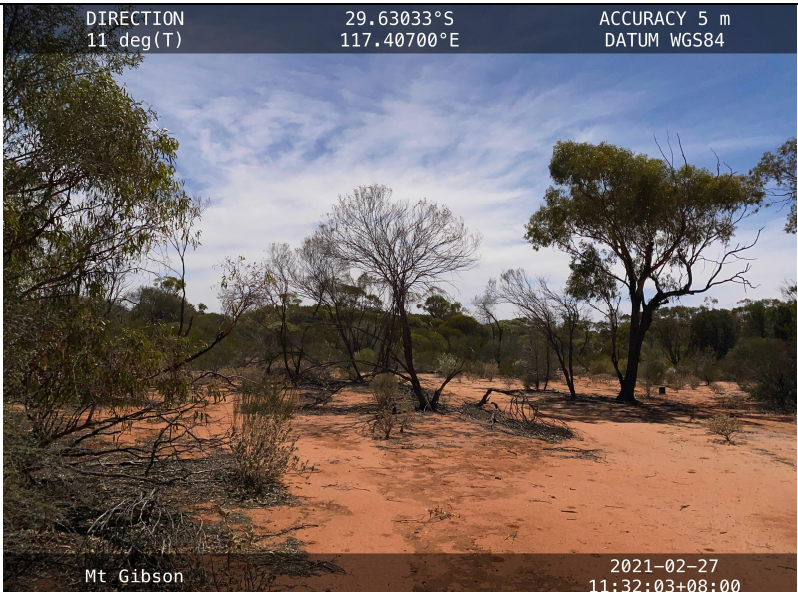


BAL Assessment Report

Fire Protection Association Australia Life Property Environment

Vegetation Classification

All vegetation within 150m of the site / proposed development was classified in accordance with Clause 2.2.3 of AS 3959 – 2018. Each distinguishable vegetation plot with the potential to determine the Bushfire Attack Level is identified below.

Photo ID: 1	Plot: 1	<p>DIRECTION 155 deg(T) 29.63082°S 117.40719°E ACCURACY 5 m DATUM WGS84</p>  <p>Mt Gibson 2021-02-27 11:53:01+08:00</p>
Vegetation Classification or Exclusion Clause		
Class B Woodland - Woodland B-05		
Description / Justification for Classification		
Trees 10-15 metres tall, with minimal undergrowth. Undergrowth consists of grasses and occasional shrubs.		
Photo ID: 2	Plot: 1	<p>DIRECTION 11 deg(T) 29.63033°S 117.40700°E ACCURACY 5 m DATUM WGS84</p>  <p>Mt Gibson 2021-02-27 11:32:03+08:00</p>
Vegetation Classification or Exclusion Clause		
Class B Woodland - Woodland B-05		
Description / Justification for Classification		
Trees 10-15 metres tall, with minimal undergrowth. Undergrowth consists of grasses and occasional shrubs.		

BAL Assessment Report

Fire Protection Association Australia Life Property Environment

Photo ID:	3	Plot:	3	DIRECTION 206 deg(T)	29.63052°S 117.40672°E	ACCURACY 5 m DATUM WGS84
Vegetation Classification or Exclusion Clause						
Class C Shrubland - Open heath C-11						
Description / Justification for Classification						
Shrubs less than 1 metre tall.				Mt Gibson 2021-02-27 11:31:23+08:00		

Photo ID:	4	Plot:	2	DIRECTION 208 deg(T)	29.63067°S 117.40703°E	ACCURACY 4 m DATUM WGS84
Vegetation Classification or Exclusion Clause						
Excludable - 2.2.3.2(e) Non Vegetated Areas						
Description / Justification for Classification						
Cleared hardstand area around existing and proposed buildings.				Mt Gibson 2021-02-27 11:51:53+08:00		

Relevant Fire Danger Index

BAL Assessment Report

Fire Protection Association Australia Life Property Environment

The fire danger index for this site has been determined in accordance with Table 2.1 or otherwise determined in accordance with a jurisdictional variation applicable to the site.

Fire Danger Index

FDI 40 ☐

Table 2.7

FDI 50 ☐

Table 2.6

FDI 80 ☒

Table 2.5

FDI 100 ☐

Table 2.4

Potential Bushfire Impacts

The potential bushfire impact to the site / proposed development from each of the identified vegetation plots are identified below.

Plot	Vegetation Classification	Effective Slope	Separation (m)	BAL
1	Class B Woodland	Flat/Upslope	20	BAL – 19
2	Excludable – Clause 2.2.3.2(e)	N/A	-	-
3	Class C Shrubland	Flat/Upslope	20	BAL – 12.5

Table 1: BAL Analysis

Determined Bushfire Attack Level (BAL)

The Determined Bushfire Attack Level (highest BAL) for the site / proposed development has been determined in accordance with clause 2.2.6 of AS 3959 – 2018 using the above analysis.

Determined Bushfire Attack Level

BAL – 19

BAL Assessment Report

Fire Protection Association Australia Life Property Environment

Appendix 1: Plans and Drawings

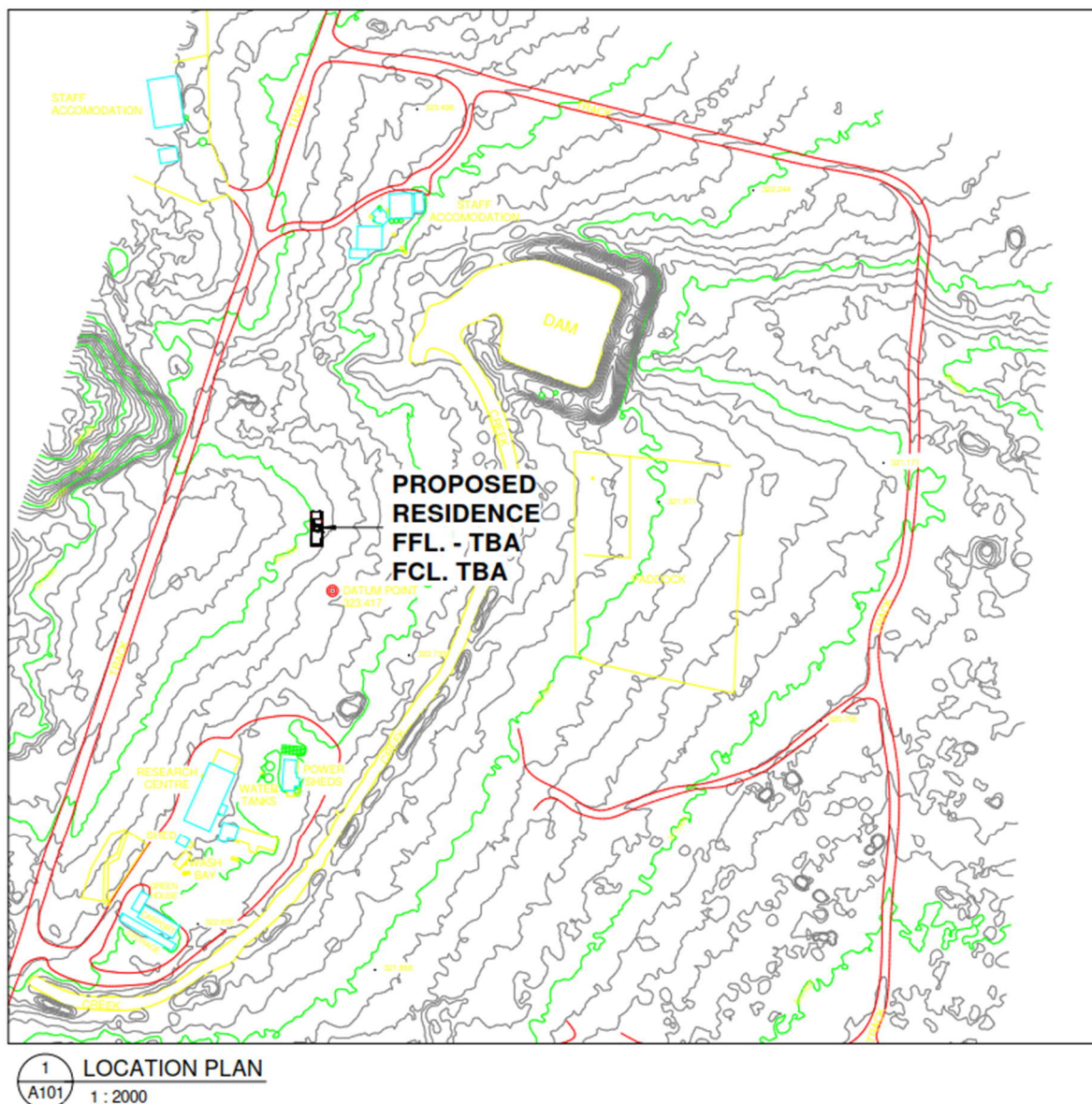
Plans and drawings relied on to determine the bushfire attack level

Plans Drawn by: Modular WA

Dwg Number: 20118

Revision no.: A

Date of Plan 29-10-20



24 May 2021

Shire of Yalgoo
PO Box 40
YALGOO WA 6635

Attention: Planning Department

Re: Lot 3550 Mt Gibson Sanctuary, Mt Gibson Road, Via Wubin

Please find attached a copy of the signed planning approval application form, BAL assessment and plans to assess the planning application.

The proposed application is for a new single storey workers accommodation residence onsite at the Mt Gibson Sanctuary.

Please feel free to call the undersigned should you have any queries or concerns.

Yours faithfully
MODULAR WA

A handwritten signature in blue ink, appearing to read 'J. Ryan', enclosed within a thin blue rectangular border.

CONTRACTS MANAGER



Schedule 6

APPLICATION FOR PLANNING APPROVAL

OWNER DETAILS

Name: AUSTRALIAN WILDLIFE CONSERVANCY

Address:

Level 2, 322 Hay Street, SUBIACO

Postcode: 6008

Phone: (work): 08 9380 9633 / 9572 3853
 (home): Phil.scully@australianwildlife.org
 (mobile): 0400 249 809

Contact person: PHIL SCULLY

Signature:

Date:

9-5-21

Signature:

Date:

Signature:

Date:

The signature of the owner(s) is required on all applications. This application will not proceed without that signature/s.

APPLICANT DETAILS

Name: MODULARIS PTY LTD TRADING AS MODULAR WA

Address:

PO BOX 1786, WANGARA WA

Postcode: 6947

Phone: (work): 08 6454 0919
 (home): E-mail: fiona@modularwa.com.au
 (mobile):

Contact person for correspondence: FIONA RYAN

Signature:

Date:

24/05/2021

PROPERTY DETAILS		
Lot No: 3550	House/Street No:	Location No:
Diagram or Plan No: 204733	Certificate of Title Vol. No: LR3078	Folio: 129
Diagram or Plan No:	Certificate of Title Vol. No:	Folio:
Title encumbrances (e.g. easements, restrictive covenants): AS PER ATTACHED CERTIFICATE OF TITLE		
Street name: Mt Gibson Sanctuary, Mt Gibson Road	Suburb: Via Wubin	
Nearest street intersection: Mt Gibson Road and Great Northern Highway		

EXISTING BUILDING/LAND USE
Description of proposed development and/or use: NEW SINGLE STOREY WORKERS ACCOMMODATION RESIDENCE
Nature of any existing buildings and/or use: MT GIBSON WILDLIFE SANCTUARY
Approximate cost of proposed development: \$108,450.00
Estimated time of completion: SEPTEMBER 2021

OFFICE USE ONLY	
Acceptance Officer's initials:	Date received:
Local government reference no:	

\$ff\$2Ld <ef#l#

#

#WESTERN



AUSTRALIA

REGISTER NUMBER	
4253/DP217804	
DUPLICATE EDITION	DATE DUPLICATE ISSUED
N/A	N/A

RECORD OF QUALIFIED CERTIFICATE OF

VOLUME **LR3078** FOLIO **729**

CROWN LAND TITLE UNDER THE TRANSFER OF LAND ACT 1893 AND THE LAND ADMINISTRATION ACT 1997 **NO DUPLICATE CREATED**

The undermentioned land is Crown land in the name of the STATE OF WESTERN AUSTRALIA, subject to the interests and Status Orders shown in the first schedule which are in turn subject to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 4253 ON DEPOSITED PLAN 217804

STATUS ORDER AND PRIMARY INTEREST HOLDER: (FIRST SCHEDULE)

STATUS ORDER/INTEREST: PASTORAL LEASE

PRIMARY INTEREST HOLDER: AUSTRALIAN WILDLIFE CONSERVANCY OF PO BOX 8070, SUBIACO EAST
(LC N049757) REGISTERED 1/7/2015

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS: (SECOND SCHEDULE)

1. N049757 LEASE. SUBJECT TO THE TERMS AND CONDITIONS AS SET OUT IN THE LEASE.
REGISTERED 1/7/2015.

Warning: (1) A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.
(2) The land and interests etc. shown hereon may be affected by interests etc. that can be, but are not, shown on the register.
(3) The interests etc. shown hereon may have a different priority than shown.

-----END OF CERTIFICATE OF CROWN LAND TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: LR3078-729 (4253/DP217804)
PREVIOUS TITLE: LR3078-729
PROPERTY STREET ADDRESS: NO STREET ADDRESS INFORMATION AVAILABLE.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF YALGOO
RESPONSIBLE AGENCY: DEPARTMENT OF PLANNING, LANDS AND HERITAGE (SLSD)

NOTE 1: A000001A SUBJECT TO SURVEY - NOT FOR ALIENATION PURPOSES

END OF PAGE 1 - CONTINUED OVER

#

ORIGINAL CERTIFICATE OF CROWN LAND TITLE
QUALIFIED

REGISTER NUMBER: 4253/DP217804 VOLUME/FOLIO: LR3078-729

PAGE 2

NOTE 2: LAND PARCEL IDENTIFIER OF NINGHAN LOCATION 4253 ON SUPERSEDED PAPER
CERTIFICATE OF CROWN LAND TITLE CHANGED TO LOT 4253 ON DEPOSITED PLAN
217804 ON 23-AUG-02 TO ENABLE ISSUE OF A DIGITAL CERTIFICATE OF TITLE.

NOTE 3: THE ABOVE NOTE MAY NOT BE SHOWN ON THE SUPERSEDED PAPER CERTIFICATE
OF TITLE.

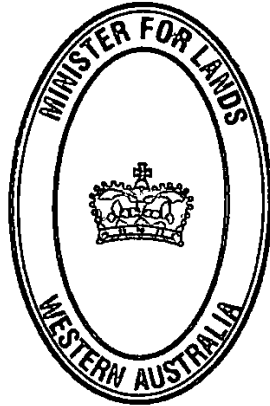
NOTE 4: M972668 CORRESPONDENCE FILE 01067-2014-01RO

www.landgate.wa.gov.au

ATTESTATION SHEET

Executed by the parties as a Deed on the 1st day of July in the year 2015

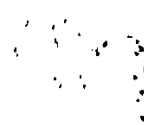
LESSOR SIGNS HERE (NOTE 7)

<p>The Common Seal of MINISTER FOR LANDS was hereunto affixed by me)</p>	<p>Hon Donald Terrence Redman MLA</p>	
<p>_____</p> <p>MINISTER FOR LANDS in the presence of:</p>		
<p><u><i>[Signature]</i></u> _____ Witness</p>		
<p><u>GIN MICHELLE KELLY</u> _____ Full Name</p>		
<p><u>2 HAVELOCK STREET, WEST PERTH</u> _____ Address</p>		
<p><u>PRINCIPAL POLICY ADVISOR</u> _____ Occupation</p>		

LESSEE/S SIGN HERE (NOTE 7)

Executed by AUSTRALIAN WILDLIFE CONSERVANCY (ACN 068 572 556) in accordance with Section 127 of the Corporations Act 2001 (Cth):

<p><u><i>[Signature]</i></u> _____ Director's Signature</p> <p><u>GRAEME LLOYD MORGAN.</u> _____ Director's Full Name</p>	<p><u><i>[Signature]</i></u> _____ Director/Secretary's Signature</p> <p><u>ANDRE CORNELIS VAN BOHEEMEN</u> _____ Director/Secretary's Full Name</p>
---	--

**14.2 Lessee to pay GST**

The Lessee must pay additional to any amounts payable by the Lessee for a Taxable Supply, any GST payable by the Lessor in respect of the Taxable Supply made under this Lease.

14.3 Tax invoice

Where GST is payable, the Lessor shall provide to the Lessee, a Tax Invoice in the format and form required as set out in the GST Law.

14.4 Notification is conclusive

A written notification given to the Lessee by the Lessor of the amount of GST that the Lessor is liable to pay on a Taxable Supply made or to be made under this Lease is conclusive between the parties except in the case of an obvious error.

14.5 Lessee must pay GST at same time

The Lessee must pay to the Lessor the amount of the GST that the Lessee is liable to pay under this Lease, at the same time and in the same manner, as the Lessee is obliged to pay for the Taxable Supply, or otherwise on demand.

14.6 Apportionment of GST

Where a Taxable Supply is not separately supplied to the Lessee, the liability of the Lessee for any amount for GST, in relation to that Taxable Supply, is determined on the same basis as the Lessee's proportion of that Taxable Supply is determined.

12.2 Service of notices on Lessor or Minister

Any notice or other document to be served on the Lessor or the Minister under this Lease may be effected:

- (a) by delivering the document personally to the offices of the Department at the address or such other address as is notified in writing to the Lessee by the Lessor; or
- (b) by sending the document by letter (by pre-paid post) to the address or by facsimile to the facsimile number of the Department or to any other address, facsimile number or electronic address or number subsequently notified in writing to the Lessee by the Lessor.

12.3 Requirements of notices served on the Lessor and Minister

A notice or other document to be served on the Lessor or the Minister under this Lease must be signed:

- (a) if given by an individual, by the person giving the notice;
- (b) if given by a corporation, by a director or secretary of the corporation; or
- (c) by a solicitor or other duly appointed agent of the person giving the notice.

13. GENERAL PROVISIONS**13.1 Waiver**

- (a) Failure to exercise or delay in exercising any right, power or privilege in this Lease by the Lessor or the Minister does not operate as a waiver of that right, power or privilege.
- (b) A single or partial exercise of any right, power or privilege does not preclude:
 - (i) any other or further exercise of that right, power or privilege; or
 - (ii) the exercise of any other right, power or privilege.

13.2 Applicable Law

- (a) This Lease shall be construed and interpreted in accordance with the laws in force in the State of Western Australia.
- (b) The parties submit to the non-exclusive jurisdiction of the Courts of Western Australia.

13.3 Accrued rights

The expiration or earlier determination of this Lease (including by way of surrender or forfeiture) in respect of the whole or any part of the Land does not affect the rights or remedies of the Minister against the Lessee in relation to a breach of this Lease by the Lessee or covenant to remediate, make good, indemnify or release the Lessor in respect of any act, deed, matter or thing occurring before the expiration or earlier determination of this Lease.

13.4 Cost of Lessee's obligations

Unless this Lease provides otherwise, anything that must be done by the Lessee under this Lease, whether or not at the request of the Lessor or the Minister, must be done at the cost of the Lessee.

13.5 Services

The Lessee acknowledges that the Lessor is not liable for the cost of, or for arranging the provision or connection of, Services to the Land.

14. GOODS AND SERVICES TAX**14.1 Rent exclusive of GST**

The Rent and any other amounts payable by the Lessee to the Lessor, under this Lease, are exclusive of GST.

- (ii) in a state of good repair and condition consistent with compliance by the Lessee with the LAA and the provisions of this Lease;
- (b) remove all fixtures or any other property, not being lawful improvements required to be yielded up under subclause (a), from the Land and make good any damage caused by the removal to the Minister's satisfaction; and
- (c) remove all Stock from the Land.

11.2 Survival

The Lessee's obligations to observe and perform the covenants contained in clause 11.1 will survive the expiration or earlier determination of this Lease.

11.3 Minister may Remove Property

- (a) If any property is not removed in accordance with clause 11.1(b), its presence on the Land shall no longer be authorised by this Lease and:
 - (i) the Minister may treat them as alleged unauthorised structures under section 270 of the LAA;
 - (ii) sections 270, 271 and 272 of the LAA apply with respect to the removal of the property or alleged unauthorised structures;
 - (iii) the Minister may, but is not obliged to, remove property from the Land and make good any damage caused by that removal; and
 - (iv) any costs incurred by the Minister in removing property under subclause (iii) or section 270(6) of the LAA, are a debt due and payable by the Lessee to the Lessor and may be recovered in a Court of competent jurisdiction.
- (b) If the Lessee has not complied with the requirement 11.1(c) to remove all Stock from the Land, the Lessor (without being obliged to do so and without affecting any other right or any action that may be taken at law or in equity) may, or may appoint or authorise any person, to:
 - (i) take possession of any Stock on the Land, remove the Stock from the Land to some other place and depasture the Stock on some other land, and all the costs incurred by the Lessor in connection with the exercise of these rights (including without limitation the costs of mustering, removal and sale of Stock) will be a debt due and payable to the Lessor by, and recoverable from, the Lessee; and
 - (ii) sell the Stock and apply the proceeds of sale to all amounts due by the Lessee under clause 11.3(b)(i) and any other amounts due and not paid under the terms of this Lease.
- (c) The Lessor need not give any notice which is required by the *Personal Property Securities Act 2009* (Cth) to be given (including a notice referred to in section 157 of that Act), unless the requirement to give it cannot be excluded or waived.

11.4 Personal Property Securities

For the purposes of clause 11.3(b) and the *Personal Property Securities Act 2009* (Cth), the Lessor and the Lessee agree that the security interest does not attach to any Stock until the expiration or earlier determination of this Lease.

12. NOTICES

12.1 Service of notice on Lessee

Unless otherwise provided by any Law, any notice or other document to be served on the Lessee under this Lease will be served in accordance with section 274 of the LAA.

including a road, reserve or stock route is excluded from the Land and is not the subject of this Lease.

9.2 Reservations

- (a) The Lessor reserves the right for itself, any Minister of the Crown, any Governmental Agency and each of their officers, agents, employees and contractors to:
 - (i) lay out, declare, open and make, either permanently or for temporary use, public roads through, on or over the Land;
 - (ii) take away any indigenous produce, rock, soil or other material which may be required for any public purpose, from the Land; or
 - (iii) pass over any part of the Land in connection with the performance of their functions (as that term is defined in the *Interpretation Act 1984*) with or without horses, stock, or vehicles, on all necessary occasions including for the purpose of accessing adjoining land.
- (b) The Lessee shall be entitled to payment for any lawful improvements, as that term is referred to in section 114(2) of the LAA, directly affected by the exercise of a Reservation under subclause (a)(i) or (a)(ii), but not otherwise.

9.3 Reservation in favour of Aboriginal persons

This Lease is subject to the reservation in favour of Aboriginal persons in accordance with section 104 of the LAA as may be amended, supplemented or replaced from time to time.

9.4 Other Reservations

This Lease is subject to any reservation in favour of the Crown contained in the LAA or any other Law including reservations in the *Mining Act 1978*, the *Petroleum and Geothermal Energy Resources Act 1967*, the *Conservation and Land Management Act 1984* and the *Sandalwood Act 1929*.

10. FORFEITURE

10.1 Non payment of Rent

In respect of the Lessee's obligation to pay Rent or make other payments, the acceptance by the Lessor of any late payment shall not constitute a waiver of the Lessee's obligation to make that payment or of the Lessee's continuing obligation to pay during the Term or of the Lessor's rights under this Lease or the LAA in respect of the late payment of Rent.

10.2 Breach of Lease

The Lessee acknowledges and agrees that:

- (a) a condition or covenant of this Lease, which is required to be performed or observed by the Lessee, shall constitute a condition or covenant to which section 131 of the LAA applies; and
- (b) a breach of such a condition or covenant may result in forfeiture of this Lease under section 35 of the LAA.

11. RIGHTS AND OBLIGATIONS ON DETERMINATION OF LEASE

11.1 Yielding up

On the expiration or earlier determination of this Lease, the Lessee must:

- (a) surrender peaceably and yield up the Land and all lawful improvements in accordance with section 114 of the LAA to the Minister:
 - (i) clean and free from any rubbish caused by the Lessee or the Lessee's Agents to the Minister's satisfaction; and

- (c) any Improvements; and
- (d) the Stock.

7.3 Lessee's Right to Notice

The Lessor and the Lessee agree that, for the purposes of sections 35 and 131 of the LAA, a breach of a condition or covenant in respect of any matter under clause 7.1 and clause 7.2 of this Lease only occurs if:

- (a) the Lessee is served with a notice from a Governmental Agency (including any Environmental Notice) properly requiring the Lessee to do or to cease doing something in order to comply with any Law, requirements, notices, orders or directions of the kind referred to in the notice and within a reasonable time:
 - (i) the Governmental Agency does not withdraw, cancel, suspend or discontinue the notice; or
 - (ii) the Lessee fails to challenge the validity of the notice in a Court or Tribunal of competent jurisdiction or fails either to have the notice dismissed, withdrawn or discontinued, or to comply with the order of the Court or Tribunal; or
 - (iii) the Lessee fails to take and continue to take reasonable steps to achieve compliance with the notice; or
- (b) the Lessee is served with a notice from the Lessor that:
 - (i) the Lessee has failed to minimise or remediate, to the Lessor's reasonable satisfaction, any damage or harm from any Contamination, Pollution, Material Environmental Harm or Serious Environmental Harm caused by the Lessee or the Lessee's Agents of the kind referred to in clause 7.1; or
 - (ii) the Lessee has failed to comply with any Law, requirements, notices, orders or directions of the kind referred to in clause 7.2; and

the Lessee has not, by a date specified in the notice (being not less than 30 days after service of the notice), remedied the breach set out in the notice to the Lessor's reasonable satisfaction.

7.4 Grazing

The Lessee will not and will not permit:

- (a) any grazing of Stock on all or part of the area leased where grazing is prohibited under the powers contained in the *Soil and Land Conservation Act 1945* or any other Environmental Law;
- (b) grazing of Stock on all or such part of the area leased or otherwise howsoever in breach of any conditions or restrictions imposed under the powers contained under any Law.

8. REGISTRATION OF LEASE

The Lessor will lodge this Lease for registration at the TLA Agency within 30 days after the Lessor and the Lessee execute it.

9. EXCLUSIONS AND RESERVATIONS

9.1 Exclusions

All land that is on the Commencement Date marked or shown as excluded or having been surrendered, transferred, resumed or taken from the Land on:

- (a) the Deposited Plan; or
- (b) any other plan or title held by the Registrar of Titles under the *Transfer of Land Act 1893*,

4.2 Registration and Lessor's costs

- (a) The Lessee must pay to the Lessor the Lessor's costs and expenses arising out of this Lease, in accordance with the LAA and the *Land Administration Regulations 1998*.
- (b) The Lessee is to pay or reimburse the Lessor on demand for all costs relating to the registration of this Lease at the TLA Agency.

5. USE OF THE LAND**5.1 Permitted Use**

- (a) This Lease confers on the Lessee a right to occupy and use the Land for the Permitted Use in accordance with the LAA and the provisions of this Lease.
- (b) The Lessee must not use the Land for any other purpose unless such use is authorised by a Permit or any other Law.
- (c) For the avoidance of doubt, the Permitted Use includes the right to place, effect, construct, erect, undertake, alter and add Improvements on the Land as are reasonably required or necessary for or ancillary to the Permitted Use and replace, renew, restore or remove all such Improvements.

5.2 Nuisance or other activities

The Lessee must, not at any time during the Term:

- (a) carry on or permit the Lessee's Agents to carry on or from the Land any unlawful or illegal act, trade, business, occupation or calling; or
- (b) do or permit the Lessee's Agents to carry on or from the Land any act matter or thing which results in nuisance, damage or disturbance to the Lessor or owners or occupiers of adjoining or neighbouring lands or buildings.

5.3 No right to soil or timber

Subject to the provisions of the LAA, this Lease and any Permit, the Lessee shall have no right to the soil, or to the timber of the Land, except as may be required for the Permitted Use.

6. DEALINGS WITH THIS LEASE

The Lessee may only dispose of, deal with, or assign its estate or interest in, or part with possession of the Land, in accordance with the LAA.

7. LESSEE'S GENERAL OBLIGATIONS**7.1 Contamination, Pollution and Environmental Harm**

The Lessee must not cause, or permit the Lessee's Agents to cause, any Contamination, Pollution or Environmental Harm to occur in, on or under the Land or to the Surrounding Area, and if any Contamination, Pollution, Material Environmental Harm or Serious Environmental Harm is caused by the Lessee or the Lessee's Agents, the Lessee must give notice of it to the Lessor and must minimise, contain and remediate any resultant damage and harm to the reasonable satisfaction of the Lessor.

7.2 Compliance with Law

In addition and without limitation to anything else provided in the LAA and this Lease about complying with Laws, the Lessee must comply with all Laws and requirements, notices, orders or lawful direction of any Governmental Agency applicable to:

- (a) the exercise of the Lessee's rights or the performance of the Lessee's obligations under this Lease;
- (b) the use and occupation of the Land by the Lessee or the Lessee's Agents;

- (m) a reference in this Lease to a sub-clause, paragraph or sub-paragraph is a reference to a sub-clause, paragraph or sub-paragraph in the clause or definition in which the reference appears; and
- (n) words that are defined in the LAA and used in this Lease have the same meaning given to them under the LAA.

1.3 Performance of functions by Minister

All acts and things which the Minister or Lessor is required or empowered to do under this Lease may be done by the Minister or the Minister's delegate appointed under section 9 of the LAA.

2. APPLICATION OF STATUTES

2.1 Land Administration Act

The Lessee and the Lessor agree that:

- (a) the provisions of the LAA relating to pastoral leases on Crown land granted under Part 7 of the LAA apply to this Lease; and
- (b) the provisions of this Lease do not in any way affect, alter or derogate from:
 - (i) the Lessor's, the Minister's or the Board's rights or powers conferred under the LAA; or
 - (ii) the Lessee's rights under the LAA.

2.2 Statutory exclusions

The covenants and powers implied by the *Transfer of Land Act 1893* do not apply to this Lease and are not implied in this Lease unless expressly included.

2.3 Statutory inclusions

With the exception of the exclusion set out in clause 2.2, nothing in this Lease affects or derogates from any right, power, condition or reservation granted or reserved in respect of or applying to the Land under any Law from time to time.

3. RENT

3.1 Payment of Rent

The Lessee must pay to the Lessor the Rent:

- (a) on or before the Commencement Date, by an initial sum equivalent to the Rent pro-rated for two calendar months;
- (b) on or after the Commencement Date, on each Rent Payment Date during the Term, by a sum equivalent to one-half of the Rent (excluding the final payment, which will be pro-rated);
- (c) at the place and in the manner notified by the Lessor in writing at any time;
- (d) without deduction or abatement; and
- (e) without demand from the Lessor.

4. OTHER PAYMENTS BY LESSEE

4.1 Payment of rates, taxes etc

The Lessee must pay, when due and payable, all present and future rates, taxes, charges, impositions, assessments, outgoings, duties and fees under the *Biosecurity and Agriculture Management Act 2007* which at any time during the Term are charged upon the Land or imposed or levied upon the Lessor or the Lessee in respect of the Land, use of the Land for the Permitted Use or the ownership of the Land.

Services means all utility services including water supply, gas, sewerage, waste disposal, drainage, electricity and telecommunications facilities.

Stock has the meaning given in section 3 of the LAA and includes both authorised stock and prohibited stock. For the avoidance of doubt, the inclusion of “**prohibited stock**” in this definition is not to be taken as any consent or permission of the Lessor or the Minister in relation to the presence of “**prohibited stock**” on the Land and does not constitute a waiver of the Lessee’s obligation under the LAA with respect to prohibited stock.

Surrounding Area means any land or water adjacent to or in the vicinity of the Land and the air generally above the Land, and includes an affected site within the meaning of that term as defined in the CSA.

Term means, subject to any sooner determination under the terms of this Lease or the LAA, the term set out on the front page of this Lease commencing on the Commencement Date.

Tax Invoice has the meaning given in section 195-1 of the GST Act.

Taxable Supply has the meaning given in section 195-1 of the GST Act.

Third Party Right means a right granted or otherwise created in favour of a third party under any Law.

TLA Agency means the agency or department responsible for the registration of dealings relating to land in the register kept pursuant to the *Transfer of Land Act 1893* being, at the Commencement Date, the Western Australian Land Information Authority a body corporate under the *Land Information Authority Act 2006* and known as “Landgate”.

1.2 Interpretation

In this Lease, unless the context otherwise requires:

- (a) headings or subheadings are inserted for guidance only and do not govern the meaning or construction of this Lease or of any provision contained in this Lease;
- (b) words expressed in the singular include the plural and vice versa;
- (c) words expressed in one gender include the other genders;
- (d) the word “including” is deemed to be followed by “but not limited to”;
- (e) an expression importing a natural person includes a company, partnership, joint venture, association, corporation or other body corporate;
- (f) a reference to a thing includes a part of that thing but without implying that part performance of an obligation is performance of the whole;
- (g) references to parts, clauses and parties are references to parts and clauses of, and parties to, this Lease;
- (h) a reference to a party to this Lease includes that party’s successors and permitted assigns and in the case of a natural person also includes that person’s personal representatives and administrators;
- (i) where the day on or by which a thing is required to be done is not a Business Day that thing must be done on or by the succeeding Business Day;
- (j) a covenant or agreement by more than one person binds, and is enforceable against, those persons jointly and each of them severally;
- (k) no rules of construction apply to the disadvantage of a party because that party was responsible for the drafting of this Lease or of any of the provisions of this Lease;
- (l) a reference to a statute, regulation, ordinance or other law in this Lease includes regulations, proclamations and other instruments under it and consolidations, amendments, re-enactments or replacements of any of them from time to time;

GST has the meaning given in section 195-1 of the GST Act.

GST Act means the *A New Tax System (Goods and Services Tax) Act 1999* (Cth).

GST Law has the meaning given in section 195-1 of the GST Act.

Improvements means buildings, sheds, yards, fences, windmills, bores, wells, dams, water apparatuses, drains and pipes and other facilities, structures fixtures and fittings on the Land at the Commencement Date or thereafter placed, effected, constructed, erected or undertaken on the Land during the Term and includes any alterations, additions, replacements, renewal or restorations made to those improvements during the Term.

LAA means the *Land Administration Act 1997*.

Land means the land described on the front page of this Lease subject to the Exclusions, and includes all Improvements on it from time to time.

Law includes any requirement of any statute, regulation, proclamation, ordinance or by-law, present or future, and whether State, Federal or local.

Lease means this deed of lease, as it is amended, varied, renewed or assigned from time to time, as permitted by this Lease.

Lessee means the party described as the lessee on the front page of this Lease and includes its successors and permitted assigns.

Lessee's Agent means the employees, agents, contractors, consultants, sublessees, licensees and invitees of the Lessee. For the avoidance of doubt, a person who accesses the Land in exercise of a Third Party Right in a capacity other than as an employee, agent, contractor, consultant, sublessee, licensee or invitee of the Lessee is not a "Lessee's Agent" within this definition.

Lessor means the party described as the lessor on the front page of this Lease and includes the Crown.

Lessor's Agent means the officers, employees, agents and contractors of the Lessor, the Minister and the Department.

Material Environmental Harm has the same meaning as that term is defined in the *Environmental Protection Act 1986*.

Minister means the Minister for Lands, a body corporate continued under section 7 of the LAA.

Pastoral Purposes has the meaning given under the LAA.

Permit means any permit issued to the Lessee in respect of the Land under Part 7 of the LAA.

Permitted Use means the use of the Land for Pastoral Purposes.

Pollution means any thing that is "pollution" within the meaning of that term as defined in the *Environmental Protection Act 1986* that is not authorised under any Law.

prohibited stock has the meaning given in section 93 of the LAA.

Rent means the annual rent as determined and varied from time to time in accordance with the LAA being at the Commencement Date, \$ 1,700 per year.

Rent Payment Date means:

1 September; and

1 March.

Reservations means the reservations set out in clauses 9.2 to 9.4.

Serious Environmental Harm has the same meaning as that term is defined in the *Environmental Protection Act 1986*.

THIS LEASE is made the 1st day of July 20 15

BACKGROUND

- A. Pursuant to Part 7 of the LAA, the Minister, for and on behalf of the State of Western Australia, leases to the Lessee, the Land subject to the Exclusions, Reservations and Encumbrances, for the Term and at the Rent and subject to the provisions of the LAA and on the terms and conditions of this Lease.
- B. This Lease is granted pursuant to a statutory right to renew an existing pastoral lease pursuant to an application made and accepted by the Minister for Lands in accordance with the provisions of the repealed *Land Act 1933* and the LAA, or the LAA, as the case may be.
- C. The Lessor and the Lessee intend that, if native title exists in relation to the Land and the grant of this Lease is a future act for the purposes of the *Native Title Act 1993* (Cth), this Lease takes effect as a permissible lease etc. renewal for the purposes of Subdivision I of that Act.

1. DEFINITIONS, INTERPRETATION AND EXERCISE OF MINISTER'S POWERS

1.1 Definitions

In this Lease the following definitions apply unless the contrary intention appears:

authorised stock has the meaning given in section 93 of the LAA.

Board means the Pastoral Lands Board established under the LAA.

Business Day means any day other than a Saturday, Sunday or State public holiday in Western Australia.

Commencement Date means the date shown on the front page of this Lease as the commencement date.

Contamination is the state of being "contaminated" as that term is defined in the CSA.

Crown means the Crown in the right of the State of Western Australia.

CSA means the *Contaminated Sites Act 2003*.

Department means the department principally assisting the Minister in the administration of the LAA from time to time.

Deposited Plan means the deposited plan referred in the description of the Land on the front page of this Lease.

Encumbrance means the limitations, interests, encumbrances and notifications shown on the front page of this Lease.

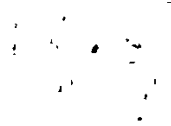
Environmental Harm means any thing that is "Environmental Harm" within the meaning of that term as defined in the *Environmental Protection Act 1986* to the extent that it is inconsistent with the Permitted Use.

Environmental Law means all planning, environmental (including biodiversity), Contamination or Pollution laws including the *Environmental Protection Act 1986* and any regulations, orders, directions, ordinances or all requirements, permissions, permits or licences issued thereunder.

Environmental Notice means any notice, direction, order, demand or other requirement to take any action or refrain from taking any action from any Governmental Agency, whether written or oral given under any Environmental Law.

Exclusions means the exclusions set out in clause 9.1.

Governmental Agency means any government or any governmental (including local government), administrative, fiscal or judicial body, department, commission, statutory authority or board, tribunal, agency or entity.

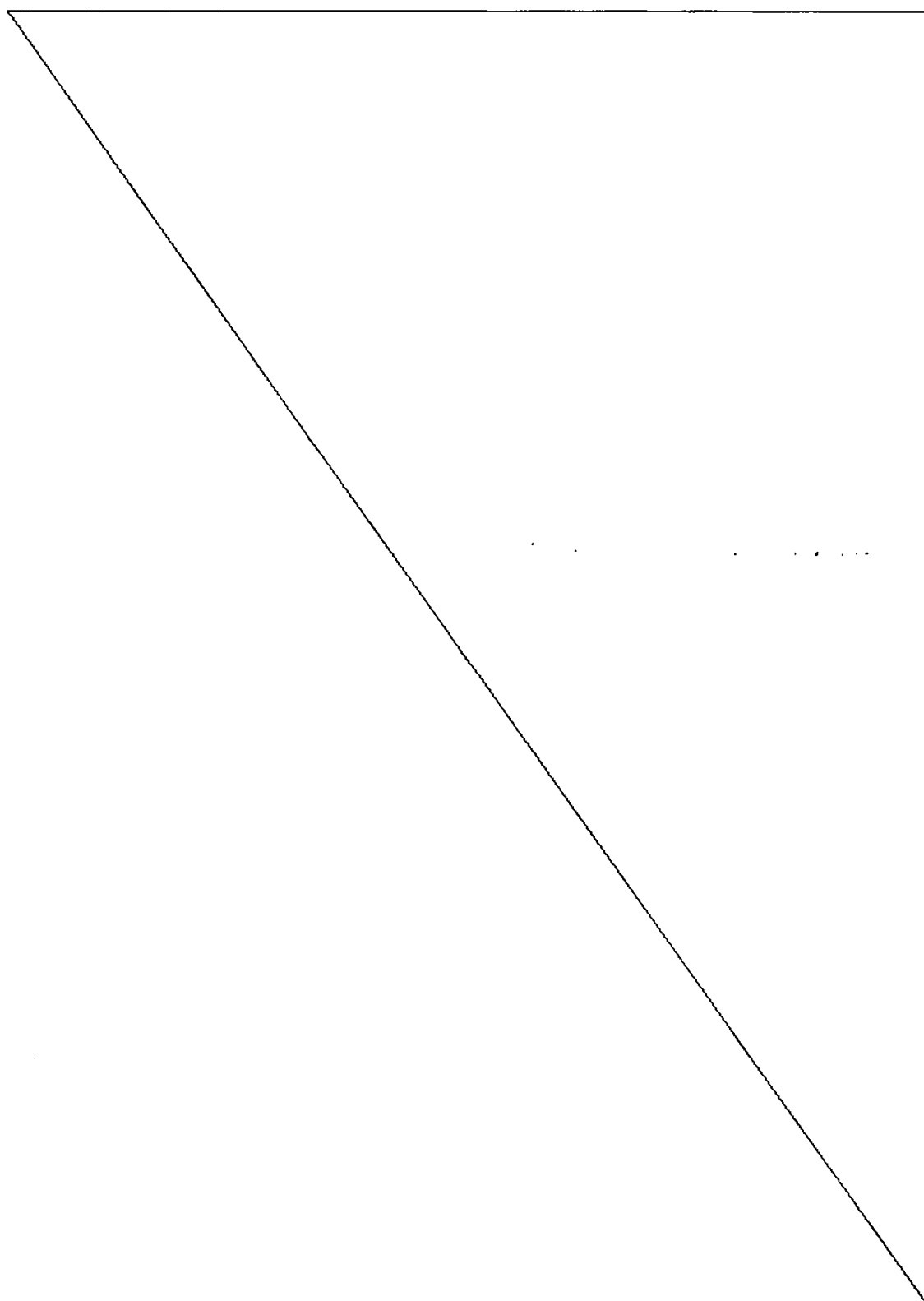
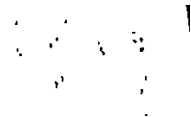


FORM B1

WESTERN AUSTRALIA
TRANSFER OF LAND ACT 1893 AS AMENDED

ANNEXURE / ADDITIONAL PAGE TO PASTORAL LEASE (PL)

DESCRIPTION OF LAND (NOTE 1)	EXTENT	VOLUME	FOLIO
Lot 317 on Deposited Plan 55963	Whole	3150	514
Lot 501 on Deposited Plan 72671	Whole	3164	149
Lot 3543 on Deposited Plan 204732	Whole	3078	122 ✓
Lot 3547 on Deposited Plan 204733	Whole	3078	127
Lot 3550 on Deposited Plan 204733	Whole	3078	129
Lot 3554 on Deposited Plan 204733	Whole	3078	164
Lot 4253 on Deposited Plan 217804	Whole	3078	729
Lot 4282 on Deposited Plan 220779 ,	Whole	3084	216
subject to inclusions and exclusions (if any), as shown in the Second Schedule			



FORM LAA-1127

TENURE CODE PL

WESTERN AUSTRALIA
LAND ADMINISTRATION ACT 1997 as amended
TRANSFER OF LAND ACT 1893 as amended

PASTORAL LEASE (PL)

DESCRIPTION OF LAND (NOTE 1)

See Annexure

EXTENT

VOLUME

FOLIO

LIMITATIONS, INTERESTS, ENCUMBRANCES and NOTIFICATIONS (NOTE 2)

J114935 Portion comprised on Deposited Plan 218687 excluded, H742094 Portion comprised on DP221421 excluded, K073672 Portion comprised on DP220012 excluded, L730470 Portion comprised on DP62670 excluded, M540773 Portion comprised on DP72671 excluded

M979104 Portion comprised on DP403485 excluded

LESSOR (NOTE 3)

STATE OF WESTERN AUSTRALIA acting through the Minister for Lands, a body corporate under the *Land Administration Act 1997*, care of the Department of Lands PO Box 1143 WEST PERTH WA 6872.

LESSEE (NOTE 4)

AUSTRALIAN WILDLIFE CONSERVANCY ACN 068572556 of PO Box 8070, SUBIACO EAST, W.A. 6008

TERM OF PASTORAL LEASE (NOTE 5)

39 Years 6 Months 0 Days

Commencing on the 1 Day of July in the year 2015

THE LESSOR HEREBY LEASES TO THE LESSEE the land above described subject to the encumbrances as shown hereon (Note 6)

Nil

for the above term for an annual rental determined in accordance with the Land Administration Act 1997 payable in accordance with the conditions contained in the within lease.

SUBJECT TO THE PROVISIONS OF THE LAND ADMINISTRATION ACT 1997 AND ALSO TO THE RESERVATIONS COVENANTS AND CONDITIONS CONTAINED IN THE WITHIN LEASE

FORM LAA-1127

WESTERN AUSTRALIA
LAND ADMINISTRATION ACT 1997 as amended
TRANSFER OF LAND ACT 1893 as amended

TENURE CODE PL

PASTORAL LEASE (PL)

DESCRIPTION OF LAND (NOTE 1)

See Annexure

EXTENT

VOLUME

FOLIO

LIMITATIONS, INTERESTS, ENCUMBRANCES and NOTIFICATIONS (NOTE 2)

J114935 Portion comprised on Deposited Plan 218687 excluded, H742094 Portion comprised on DP221421 excluded, K073672 Portion comprised on DP220012 excluded, L730470 Portion comprised on DP62670 excluded, M540773 Portion comprised on DP72671 excluded, M979104 Portion comprised on DP403485 excluded *alleged*

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SUBJECT TO THE PROVISIONS OF THE *LAND ADMINISTRATION ACT 1997* AND ALSO TO THE RESERVATIONS COVENANTS AND CONDITIONS CONTAINED IN THE WITHIN LEASE

GC31/10



THE PERTH MINT AUSTRALIA

Mr Paul Bashall
Planwest (WA) Pty Ltd
94 Third Avenue
Mt Lawley WA 6050

25th May 2021

Dear Mr Bashall

INSTALLATION OF CARETAKER ACCOMODATION – PAYNES FIND BATTERY SITE – RESERVE NO: 15209

The Paynes Find Battery Site vests in and is held by the Western Australian Mint, a subsidiary of Gold Corporation (trading as The Perth Mint), pursuant to Orders of the Government made under Section 33 of the *Land Act* 1993 (WA).

The site is currently leased to Elaine and Douglas Taylor, who live on the reserve.

Considering caretaker accommodation is relevant to the reserve purpose of mineral processing, Gold Corporation has no objections and supports the application to install a transportable house.

Yours sincerely

Jason Chaplin
Technical Services Manager

cc:

Douglas Taylor
Paynes Find Gold Battery
Paynes Find
WA 6612

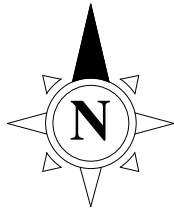


310 Hay Street, East Perth,
Western Australia 6004
GPO Box M924, Perth,
Western Australia 6843

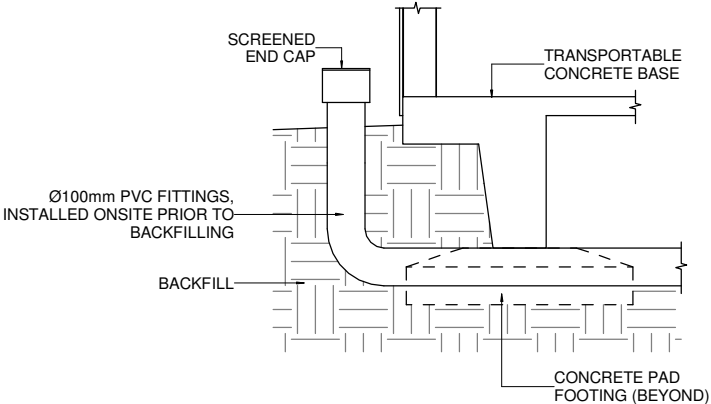
Tel. (+61 8) 9421 7222 | Fax. (+61 8) 9421 3812
info@perthmint.com.au | perthmint.com.au

WESTERN AUSTRALIAN MINT
ABN 44 590 221 751
Est. under the *Gold Corporation Act* 1987

F.F.L - FINISHED FLOOR LEVEL
F.C.L - FINISHED CUT/COMPACT LEVEL
N.G.L - NATURAL GROUND LEVEL



NOTE:
SUB-FLOOR VENT TO HAVE A 2m RADIUS
EXCLUSION ZONE FROM CENTER OF HOOD
& GAS REG LOCATION




1 SITE PLAN
A101 1 : 1000

SV SUB FLOOR VENTILATION
A101 1 : 20

CLIENT:	TAYLOR & OTTO
ADDRESS:	LOT 4235 BATTERY RD. PAYNES FIND, WA 6612
HOUSE TYPE:	ASHBURTON (MODIFIED)

Rev	Description	Date
A	Prepare PPA Plans	11/11/20
B	Prepare working drawings	10/02/21

JOB No.	20132
DATE:	12/02/2021 12:06:20 PM
DRAWN:	BT
CHECKED:	WI
REV:	SHEET
SCALE:	B
As indicated	A101



T: 08 64540919 F: 08 64540918
W: modularwa.com.au
e: sales@modularwa.com.au
Builders reg # 101630

Use figured dimensions in preference to scaled.
All dimensions to be verified and checked on the job. © .

GENERAL NOTES:

1. DO NOT SCALE FROM THIS DRAWING. ALL CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO COMMENCEMENT OF ANY WORKS AND ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
2. DIMENSIONS SHOWN ON THIS PLAN ARE TO STEEL FRAME AND DOES NOT INCLUDE EXTERNAL CLADDING OR INTERNAL LINING WIDTH.
3. FLOOR BY OWNER

CLIENT NOTE:

THIS PLAN IS TO BE READ IN CONJUNCTION WITH MODULAR WA ADDENDA AND ENGINEERED CERTIFIED DRAWINGS.

CARPENTERS NOTE:

SILICONE BEAD REQUIRED AT BASE OF WALL FRAMES TO ALL TILED WET AREAS

INTERNAL OPENINGS:

DHO: FLUSHED DOOR HEIGHT OPENING 2040mm A.F.L
FHO: FULL HEIGHT OPENING

WINDOWS

- WINDOW HEAD HEIGHT TO BE 2143mm A.F.L UNLESS NOTED OTHERWISE

- PROVIDE ROLLER SHUTTERS WITH ELECTRIC MOTORS TO ALL WINDOWS & SLIDING DOORS

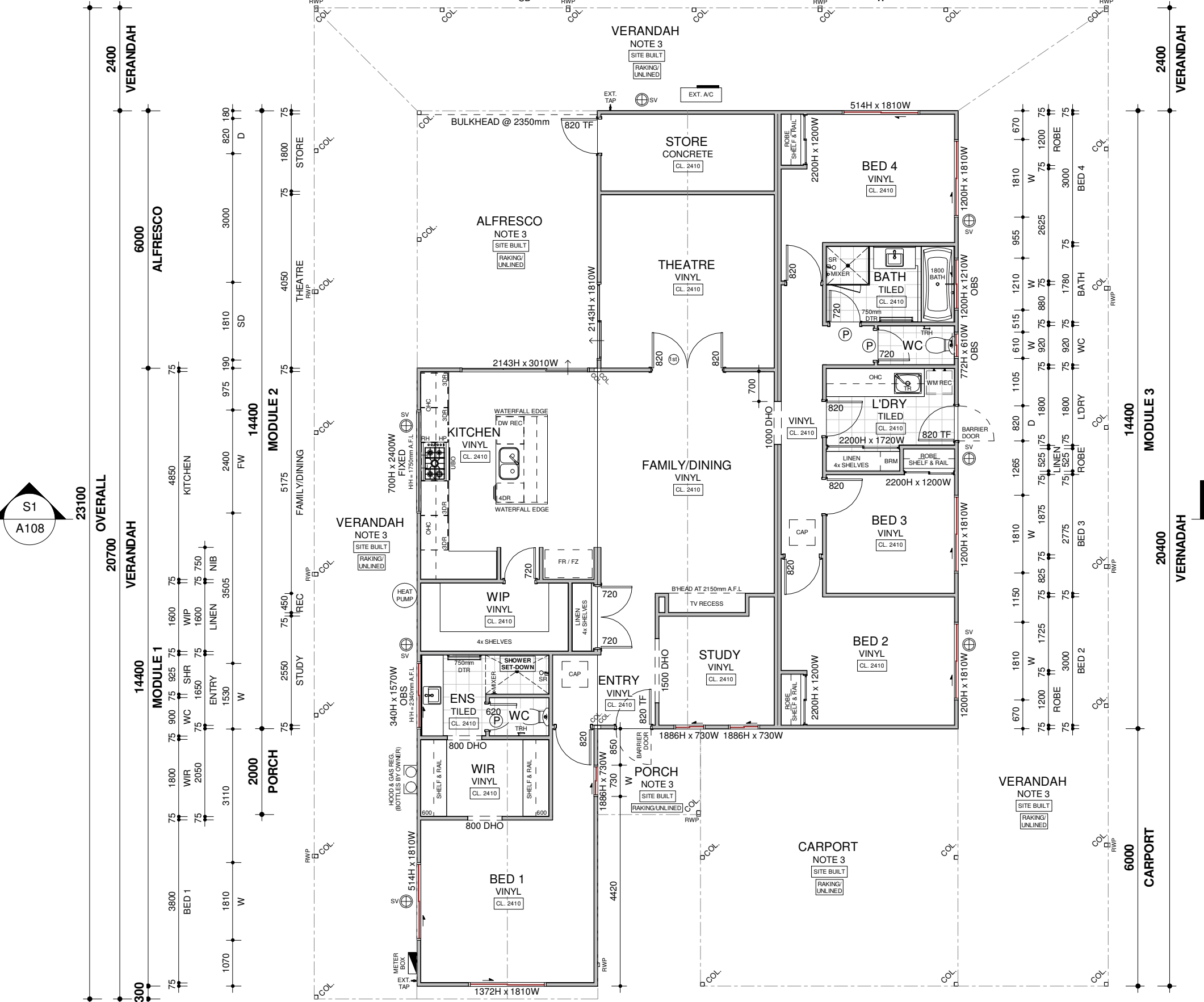
ABBREVIATION LEGEND

HP	HOT PLATE	DTR	DOUBLE TOWEL RAIL	SD	SLIDING DOOR
RH	RANGEHOOD	TRG	TOWEL RING	W	WINDOW
UBO	UNDERBENCH OVEN	SR	SHOWER RAIL / ROSE	COL	COLUMN
OHC	OVERHEAD CUPBOARD	CAP	CEILING ACCESS PANEL	H/H	HEAD HEIGHT
DR	DRAWER	BRM	BROOM	RWP	RAIN WATER PIPE
FR/FZ REC	FRIDGE / FREEZER RECESS	V	VANITY	SV	SUB-FLOOR VENT
DW REC	DISHWASHER RECESS	B	BASIN	FW	FIXED WINDOW
TR	TROUGH	OBS	OBSCURE	(P)	PRIVACY LATCH
WM REC	WASHING MACHINE RECESS	TF	TIMBER FRAME		
TRH	TOILET ROLL HOLDER	D	DOOR		

**BUSHFIRE ATTACK
LEVEL (BAL): TBA**

**WIND CLASSIFICATION:
REGION A**

SOIL CLASSIFICATION: "TBA"



1 FLOOR PLAN

1 : 100

BUILDING AREA

BUILDING	181.44m ²	
ALFRESCO	25.20m ²	
CARPORT	36.00m ²	
PORCH	4.80m ²	ROOF AREA
VERANDAH	165.48m ²	ROOF (YARD BUILT)
		187.26m ²
		ROOF (SITE BUILT)
		234.10m ²
TOTAL	412.92m²	TOTAL
		421.36m²

CLIENT: TAYLOR & OTTO

ADDRESS: LOT 4235 BATTERY RD.
PAYNES FIND, WA 6612

HOUSE TYPE: ASHBURTON (MODIFIED)

Rev	Description	Date
A	Prepare PPA Plans	11/11/20
B	Prepare working drawings	10/02/21

JOB No.	20132
DATE:	12/02/2021 12:06:23 PM
DRAWN:	BT
CHECKED:	WI
REV:	SHEET
SCALE:	B
	A102
	1 : 100

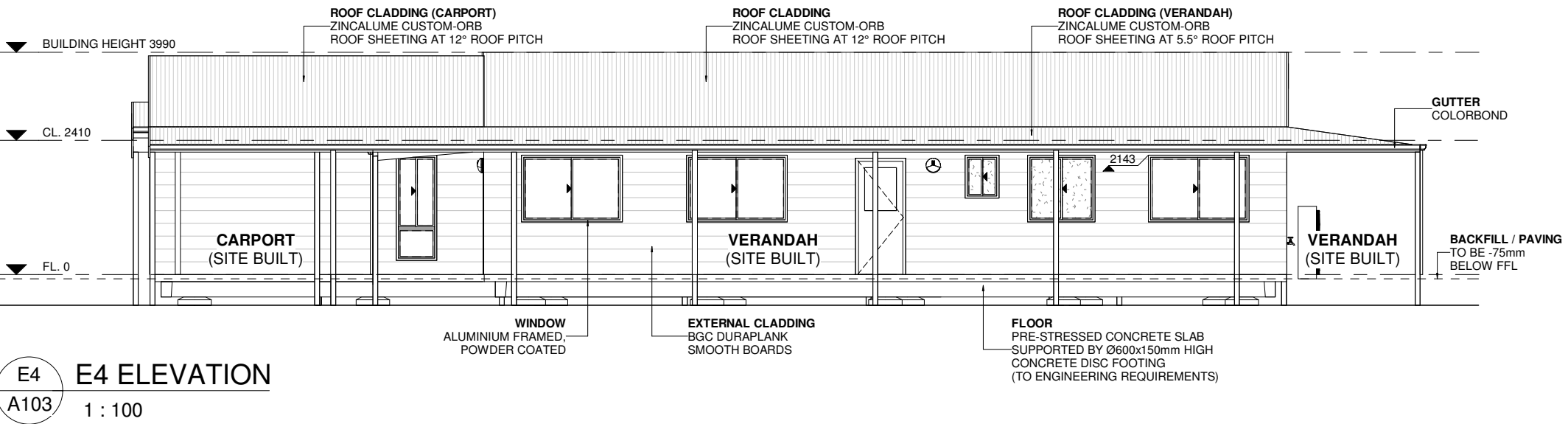
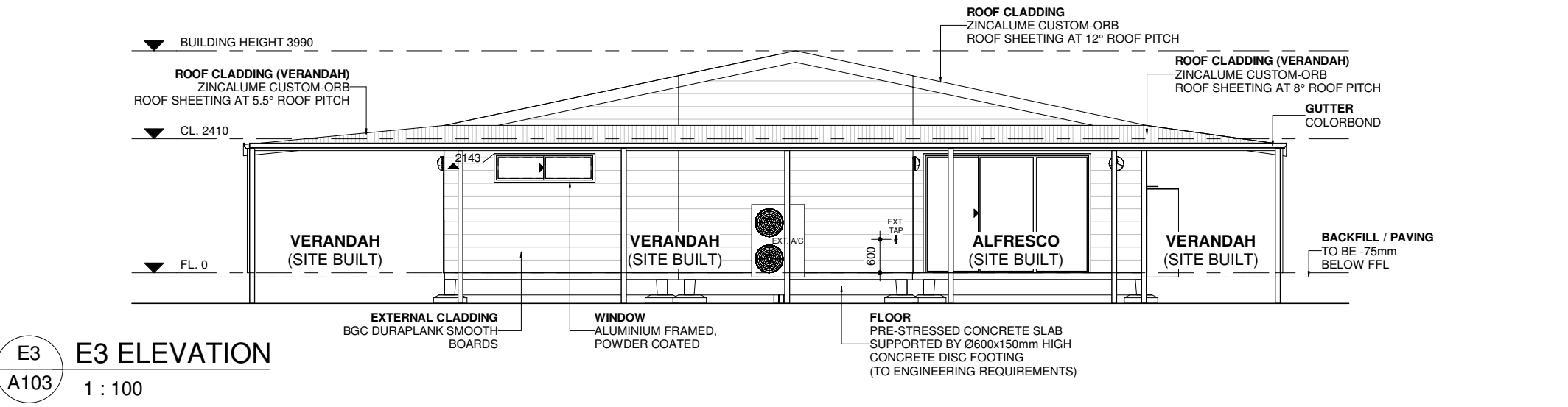
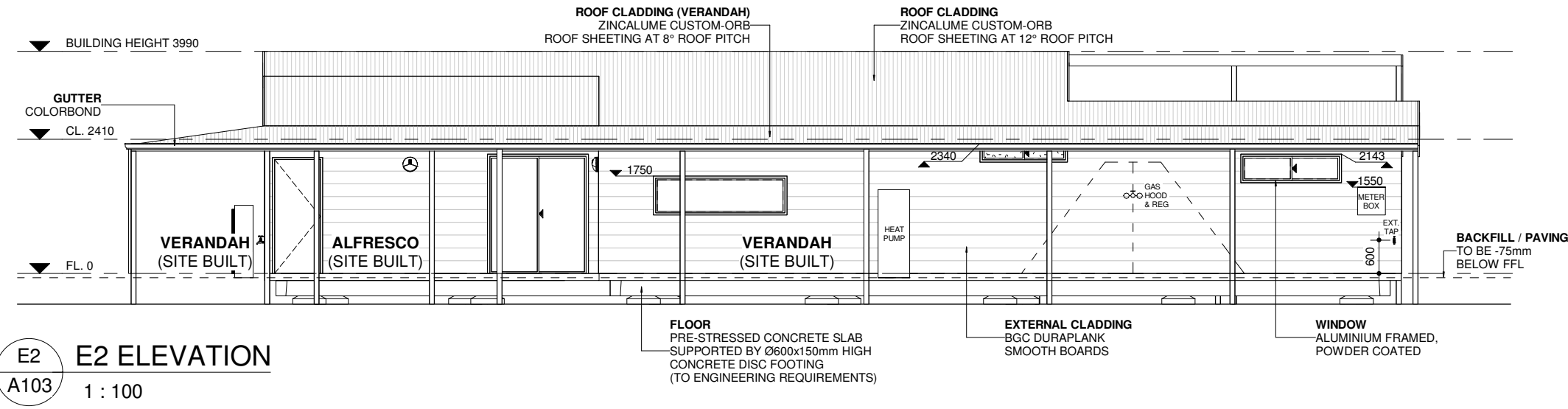
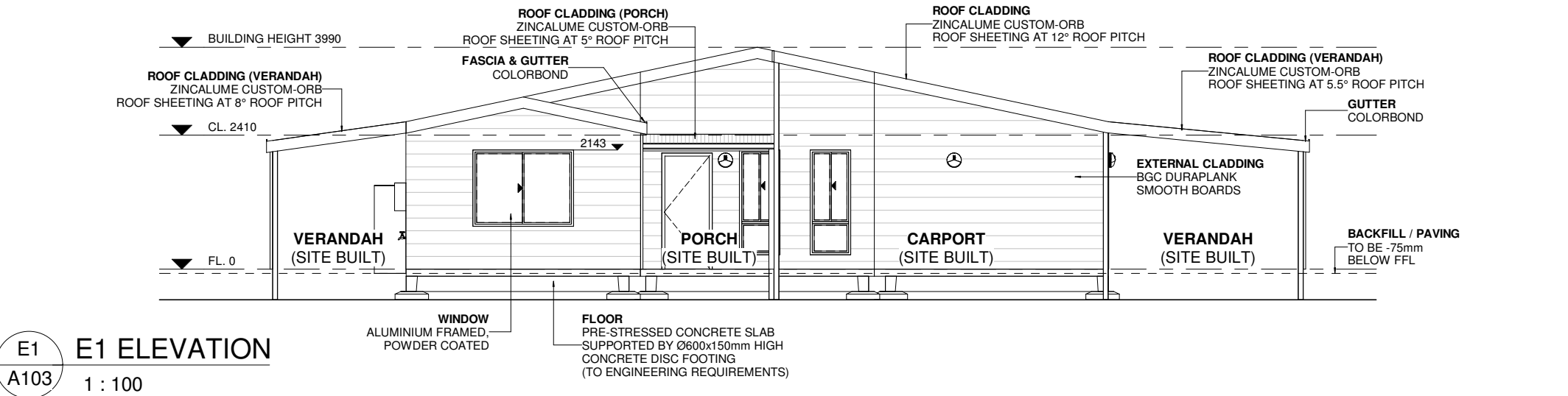
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BACKFILL
(BY OWNER)


PROVIDE ROLLER SHUTTERS WITH ELECTRIC
MOTORS TO ALL WINDOWS & SLIDING DOORS



CLIENT:	TAYLOR & OTTO
ADDRESS:	LOT 4235 BATTERY RD. PAYNES FIND, WA 6612
HOUSE TYPE:	ASHBURTON (MODIFIED)

Rev	Description	Date
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SCALE:	A103
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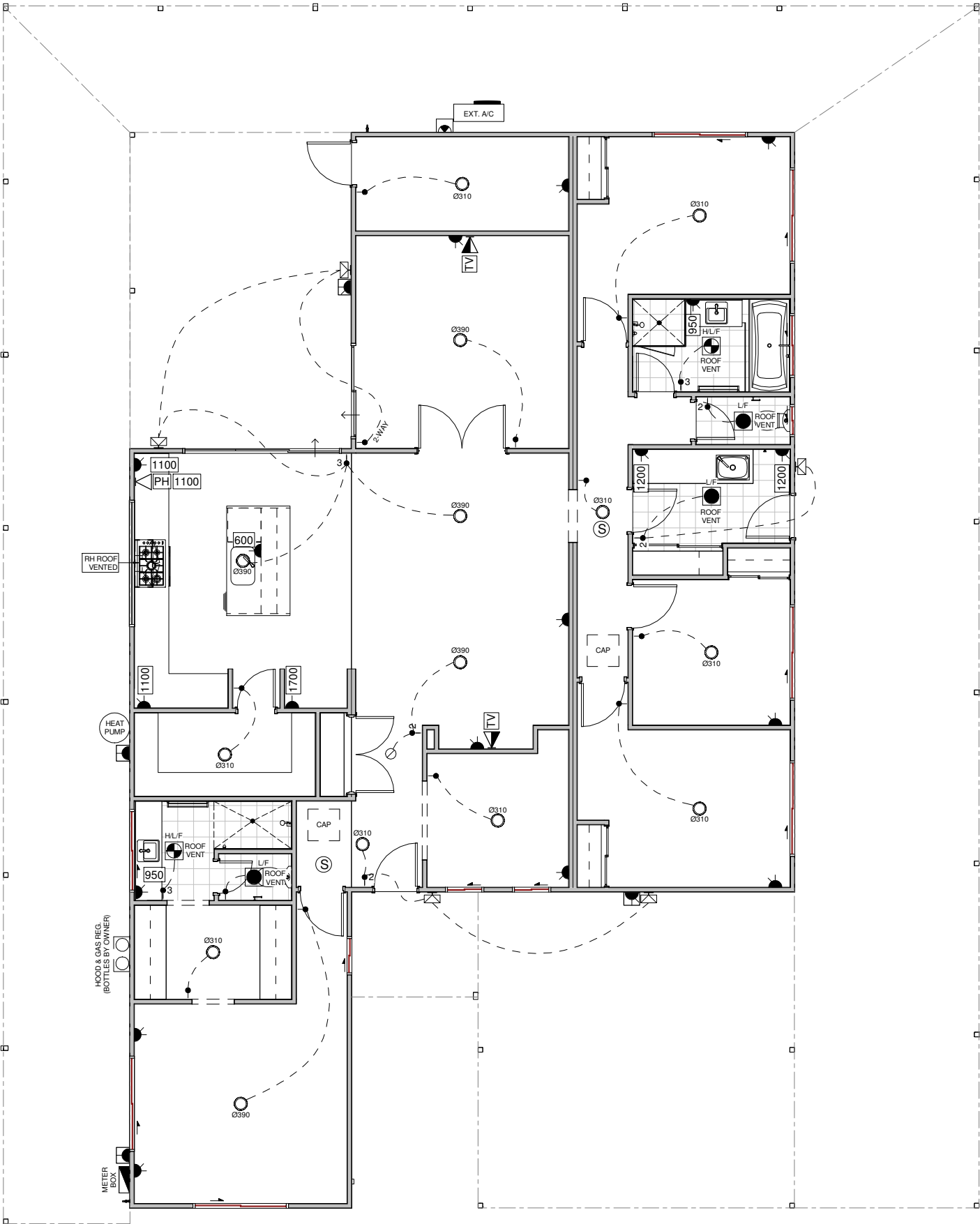
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ELECTRICAL LEGEND	
	CEILING LIGHT - L.E.D OYSTER FITTING
	CEILING LIGHT - L.E.D DOWNLIGHT FITTING
	EXTERNAL WALL LIGHT
	EXTERNAL WALL LIGHT - UP/DOWN
	L.E.D. SURFACE MOUNTED BATTEN
	MOTION SENSOR
	SINGLE GPO
	DOUBLE GPO
	QUAD GPO
	SINGLE WEATHERPROOF GPO
	DOUBLE WEATHERPROOF GPO
	ISOLATION SWITCH
	AIR CONDITIONER UNIT ISOLATOR
	PHONE / DATA OUTLET
	TV POINT
	LIGHT SWITCH
	HARDWIRED SMOKE DETECTOR c/w BATTERY BACKUP
	EXHAUST FAN FLUMED
	HEAT / LIGHT / FAN
	LIGHT / FAN
	CEILING FAN
	CEILING FAN c/w LIGHT
	METER BOX

THREE PHASE POWER

DUCTED A/C
4xZONES
9x CEILING OUTLETS
LOCATION TO BE
CONFIRMED

PROVIDE ROLLER
SHUTTERS WITH
ELECTRIC MOTORS
TO ALL WINDOWS &
SLIDING DOORS



ELECTRICAL NOTES:

1. ALL ELECTRICAL HEIGHTS ARE MEASURED FROM FINISHED FLOOR LEVEL
2. ALL LIGHT SWITCHES TO BE 1200mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
3. INTERNAL GENERAL POWER OUTLETS, PHONE & DATA POINTS TO BE 300mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
4. EXTERNAL GENERAL POWER OUTLETS AND EXTERNAL ISO SWITCH TO BE 1200mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
5. EXTERNAL LIGHT FITTINGS TO BE 1900mm ABOVE FINISHED FLOOR LEVEL - MEASURED TO UNDERSIDE OF FITTING
6. POWER TO DISHWASHER RECESS, ELECTRIC OVEN, RANGEHOOD, HOT PLATE, HOT WATER SYSTEM.
7. KITCHEN & L'DRY GPO'S TO BE ON SEPARATE CIRCUIT.
8. HEAT PUMP ELECTRICAL POWER POINT TO BE 1000mm TO RIGHT SIDE OF INLET/OUTLET PIPE OF HOUSE

AIR CONDITIONING NOTE:


1. ALL EXTERNAL A/C BOOTS TO BE LOCATED MIN. 400mm ABOVE FFL.
2. FIRE BLANKET TO BE INSTALLED AROUND PIPES PRIOR TO INSTALLING ALL EXTERNAL A/C BOOTS.

1 ELECTRICAL PLAN
A104 1 : 100

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ADDRESS:	LOT 4235 BATTERY RD. PAYNES FIND, WA 6612
HOUSE TYPE:	ASHBURTON (MODIFIED)

Rev	Description	Date
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B	Prepare working drawings	10/02/21

JOB No.	20132
DATE:	12/02/2021 12:06:26 PM
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A104

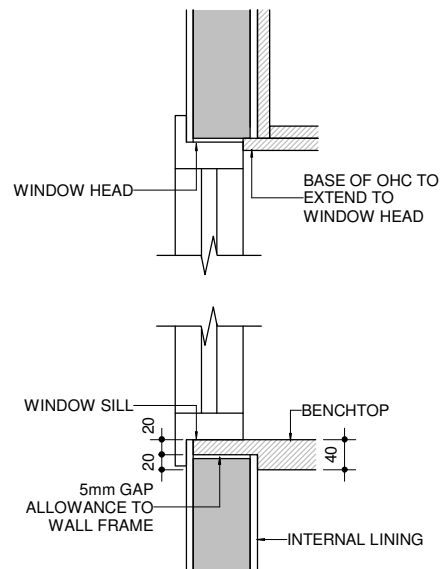
Technical drawing of Kitchen K1, showing a side elevation with dimensions and labels.

Labels: CL. 2410, FL. 0, SHELF, RH, HP, UBO, 3DR, BENCH, TILED SPLASHBACK, 6 EQ. OHC, 2 EQ. OHC, 4 EQ. OHC, 1700, 400, 400, 400, 500, 120, 1050, 880, 700, 570, 30, 2260, 900, 1610, 30, 450, 1130, 95, 650, 805, 805, 900, 805, 805, 30, 1580, 4830, 1:50.

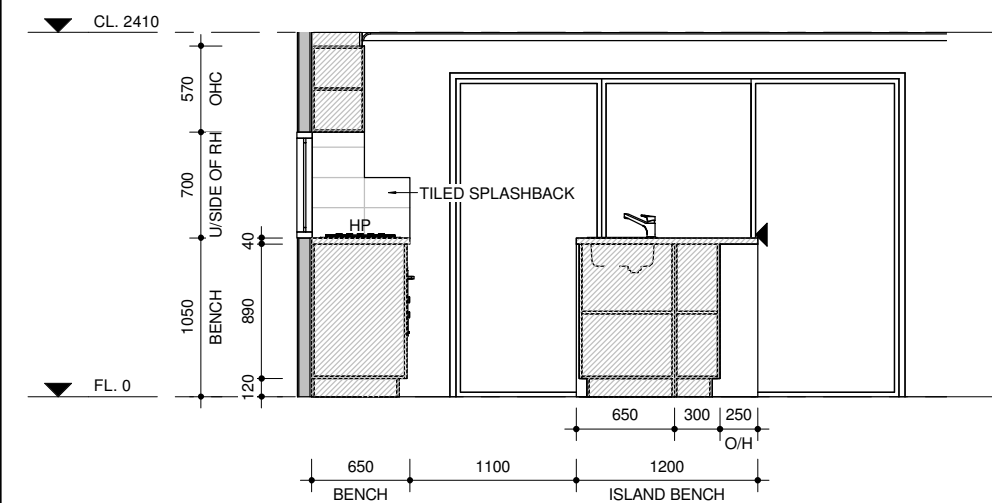
Dimensions: 1700 (total height), 400 (shelf height), 400 (shelf height), 400 (shelf height), 500 (shelf height), 120 (bench height), 1050 (total bench height), 880 (bench height), 700 (height of RH/HP), 570 (height of RH/HP), 30 (corner radius), 2260 (total width), 900 (width of RH/HP), 1610 (width of UBO/3DR), 30 (corner radius), 450 (shelf width), 1130 (shelf width), 95 (corner radius), 650 (bench width), 805 (3DR width), 805 (3DR width), 900 (UBO width), 805 (3DR width), 805 (3DR width), 30 (corner radius), 1580 (shelf width), 4830 (bench width).

Notes: 1:50

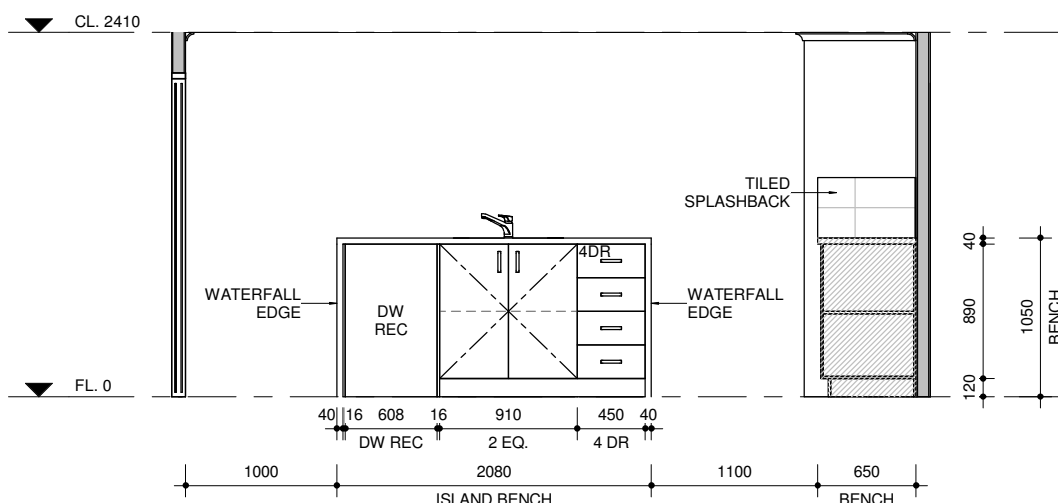
K1 KITCHEN K1
A105 1 : 50



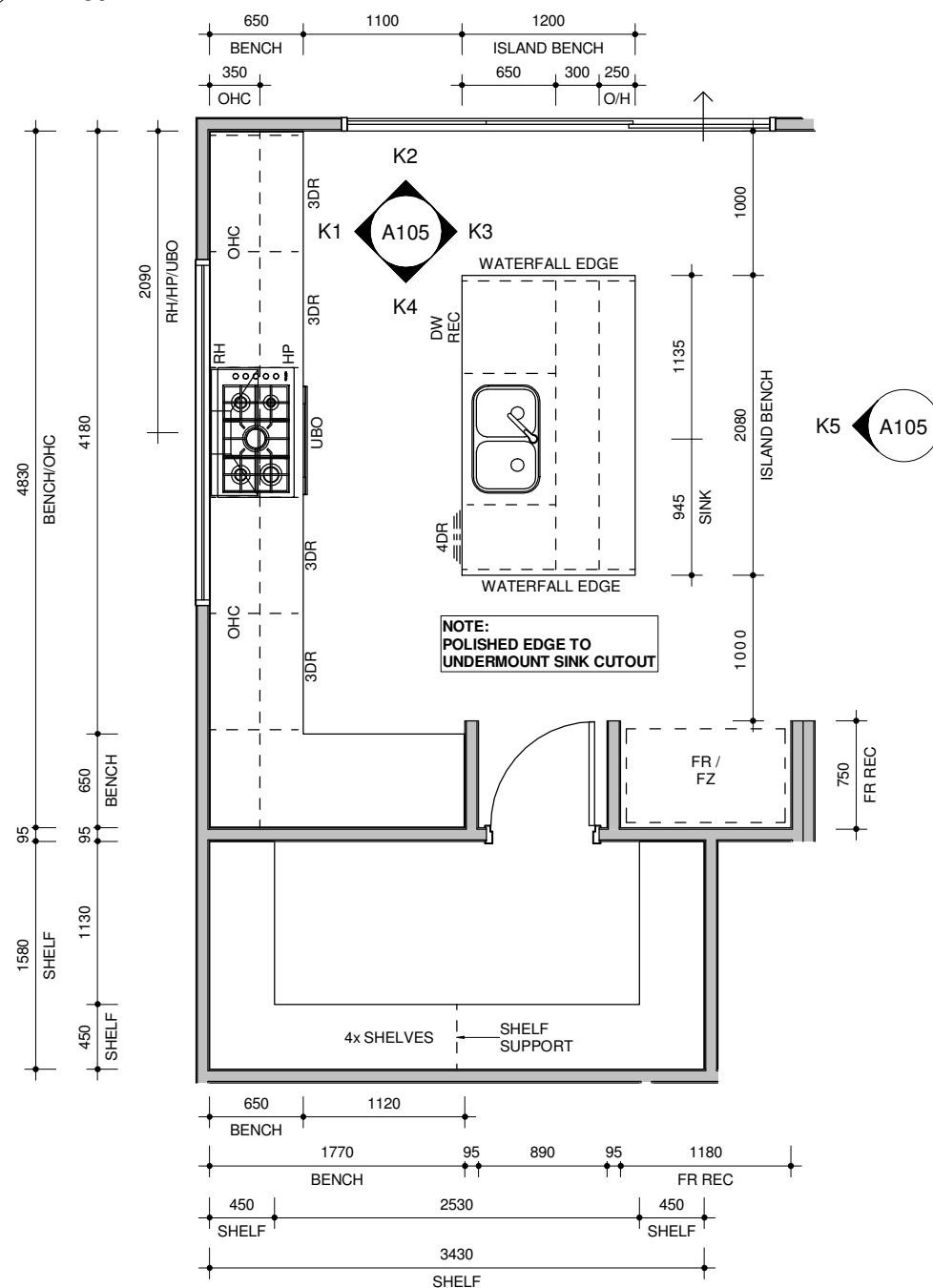
WB WINDOW TO BENCH DETAIL
A105 1 : 10



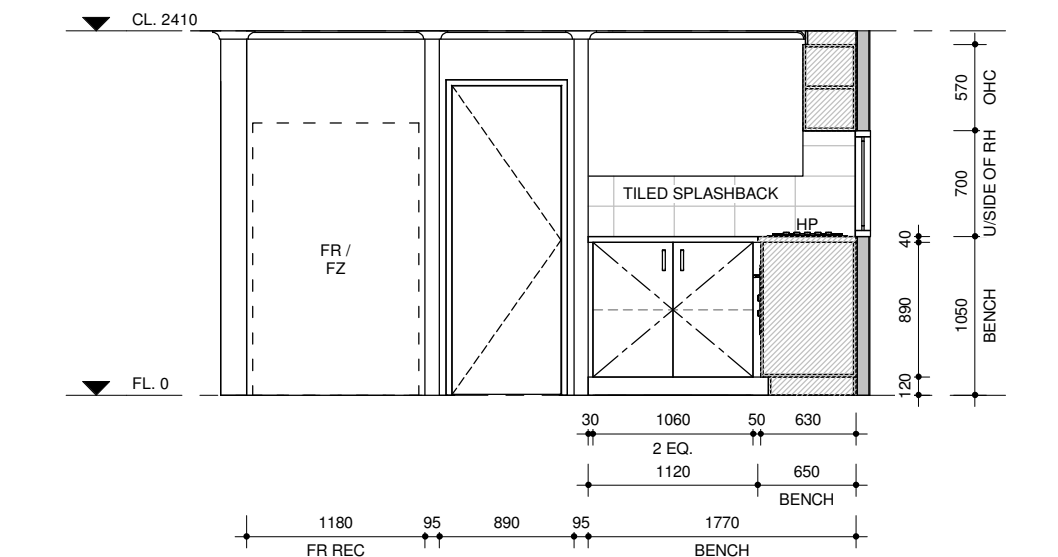
KITCHEN K2
1 : 50



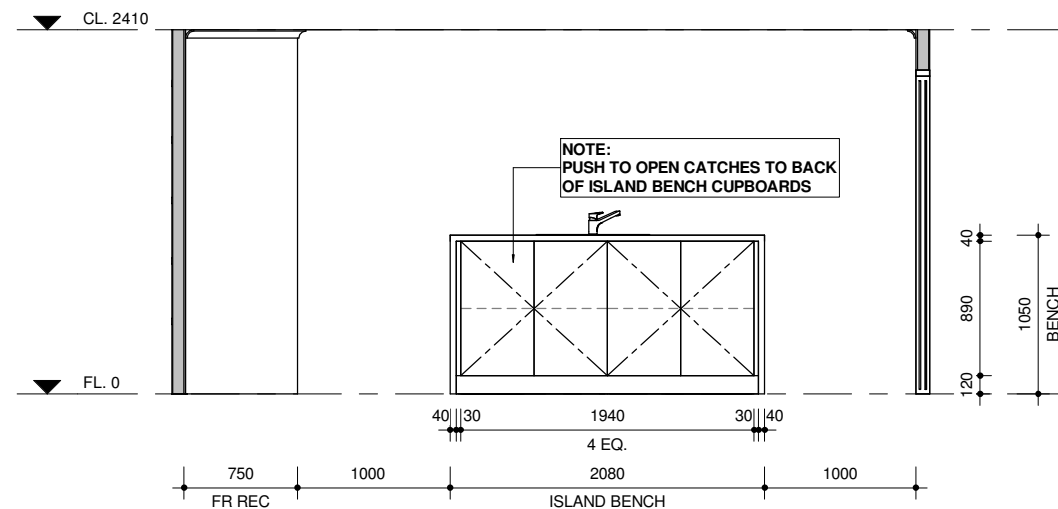
K3 KITCHEN K3
A105 1 : 50




KITCHEN LAYOUT



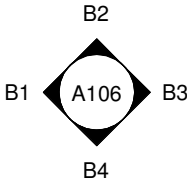
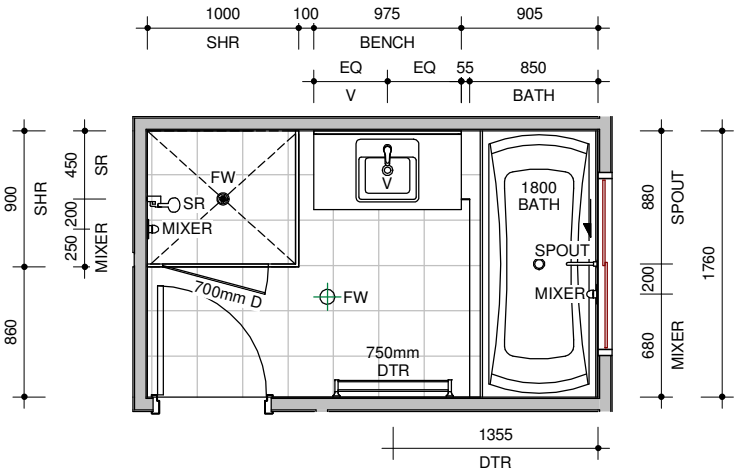
K4 KITCHEN K4
A105 1 : 50



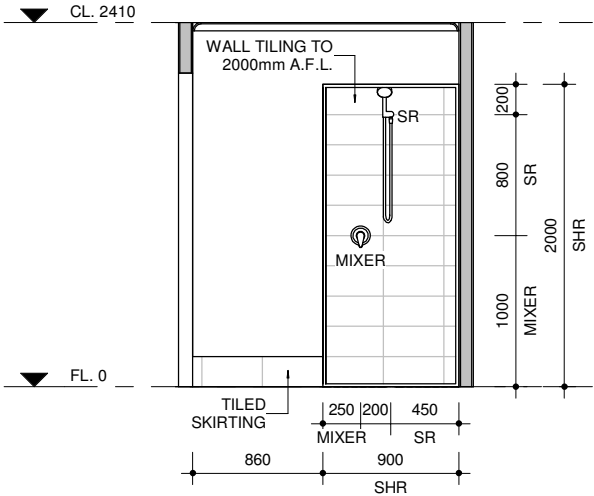
K5 KITCHEN K5
A105 1 : 50

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Rev	Description		Date																							
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B	Prepare working drawings		10/02/21																							
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		CHECKED:	BT																							
		REV:	SHEET																							
		SCALE:	A105																							
		As indicated																								

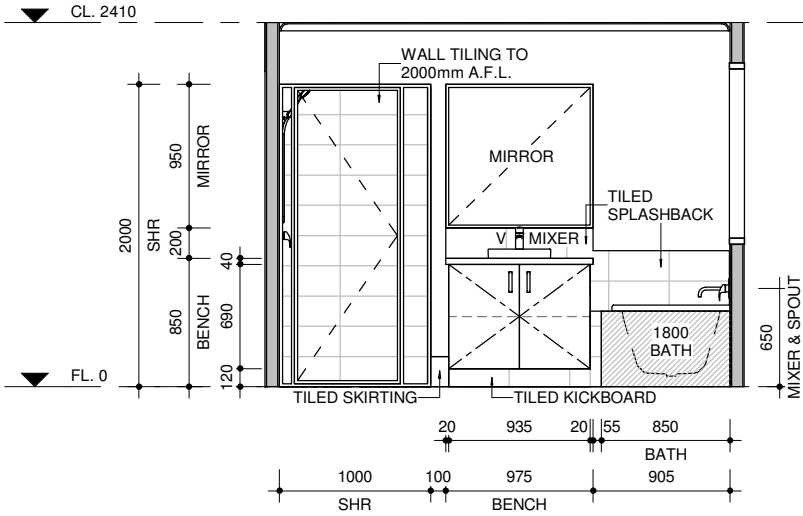
NOTE:
DIMENSIONS MEASURED
FROM INTERNAL WALL LINING



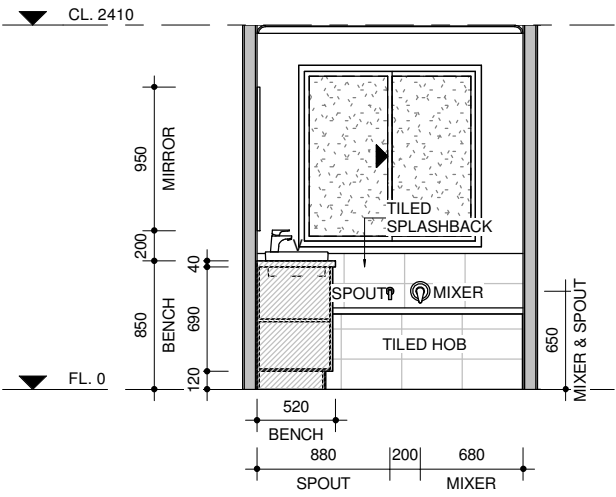
B BATH LAYOUT
A106 1 : 50



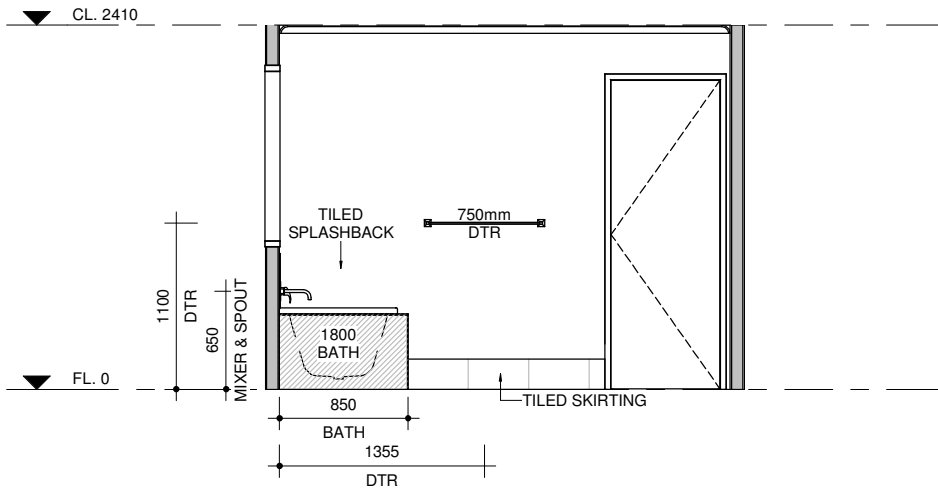
B1 BATH B1
A106 1 : 50



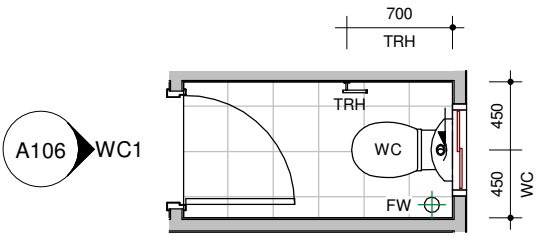
B2 BATH B2
A106 1 : 50



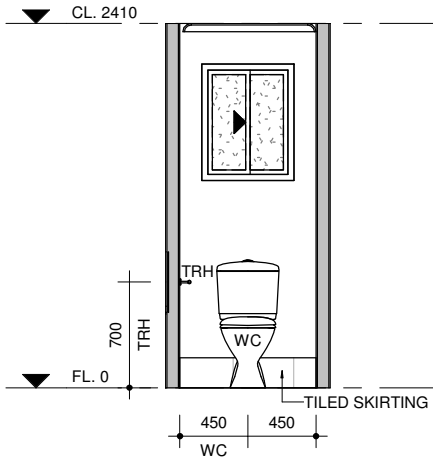
B3 BATH B3
A106 1 : 50



B4 BATH B4
A106 1 : 50



WC WC LAYOUT
A106 1 : 50



WC1 WC 1
A106 1 : 50

CLIENT: TAYLOR & OTTO

ADDRESS: LOT 4235 BATTERY RD.
PAYNES FIND, WA 6612

HOUSE TYPE: ASHBURTON (MODIFIED)

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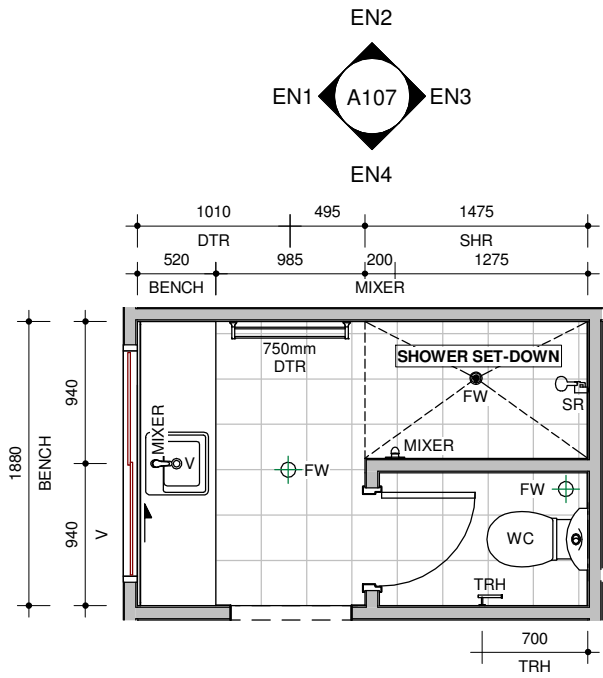
JOB No.	20132
DATE:	12/02/2021 12:06:28 PM
DRAWN:	ZY
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REV:	SHEET
SCALE:	1 : 50

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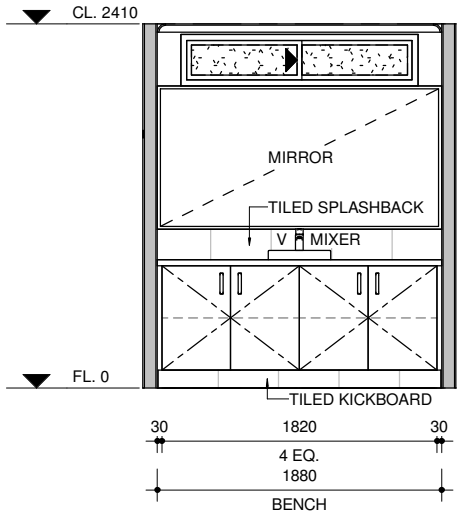
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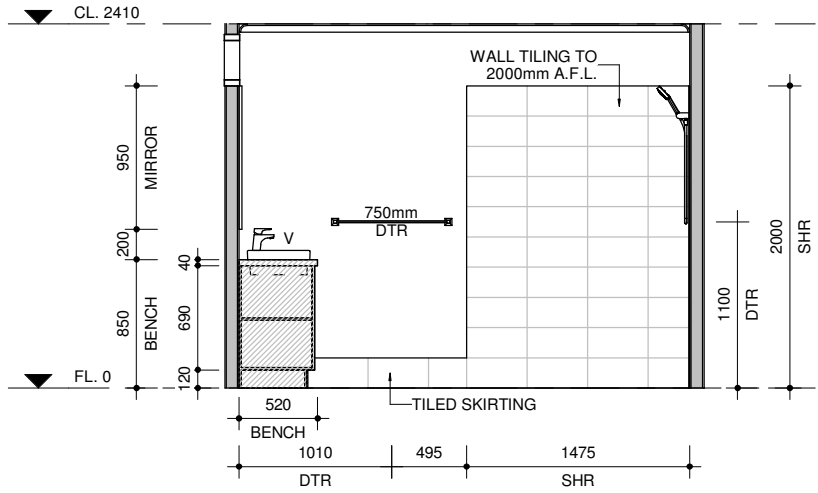
NOTE:
DIMENSIONS MEASURED
FROM INTERNAL WALL LINING



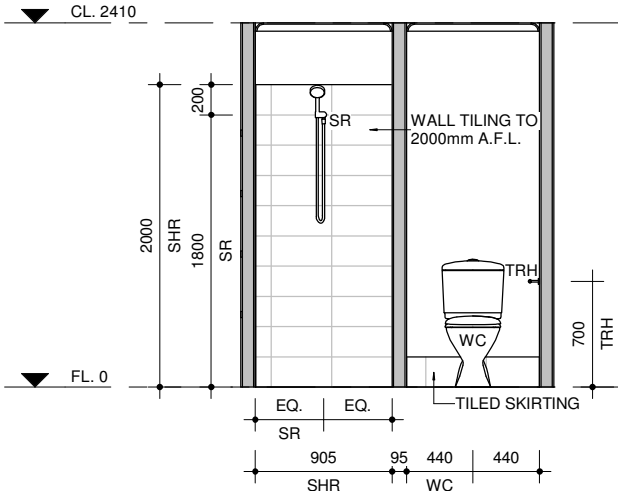
EN ENSUITE LAYOUT
A107 1 : 50



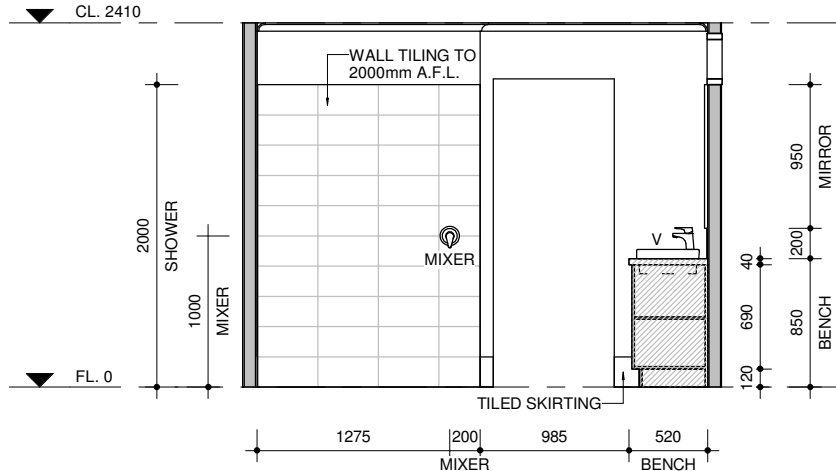
EN1 ENSUITE EN1
A107 1 : 50



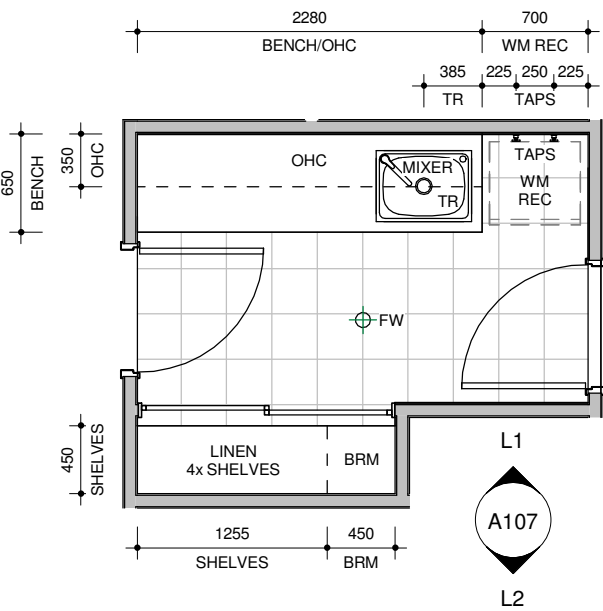
EN2 ENSUITE EN2
A107 1 : 50



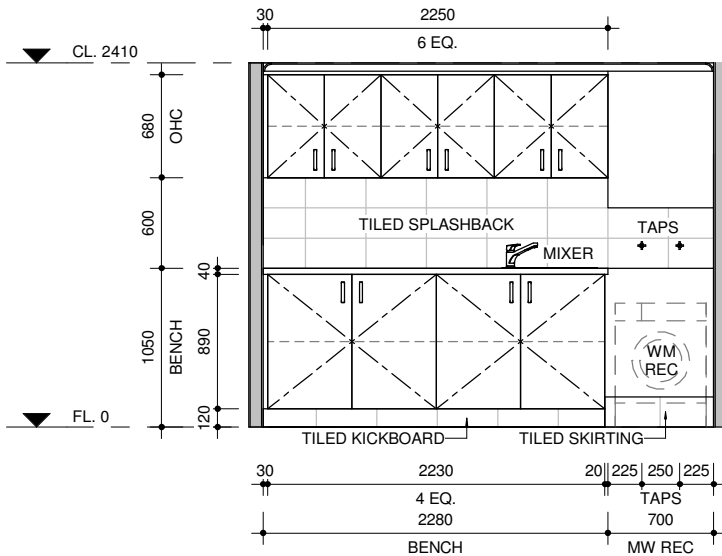
EN3 ENSUITE EN3
A107 1 : 50



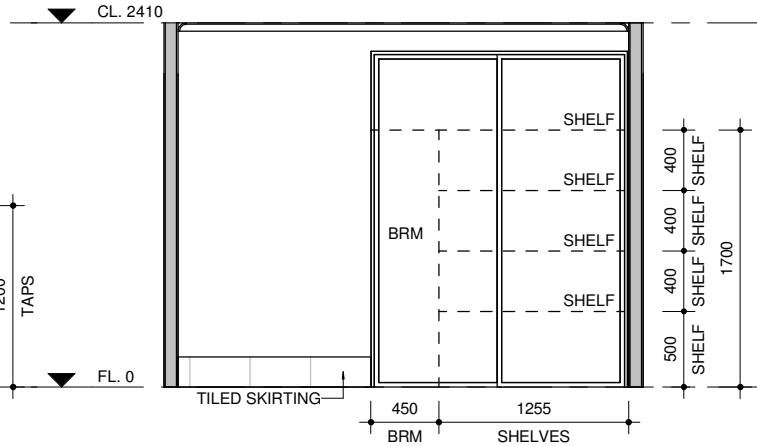
EN4 ENSUITE EN4
A107 1 : 50



L L'DRY LAYOUT
A107 1 : 50



L1 L'DRY L1
A107 1 : 50




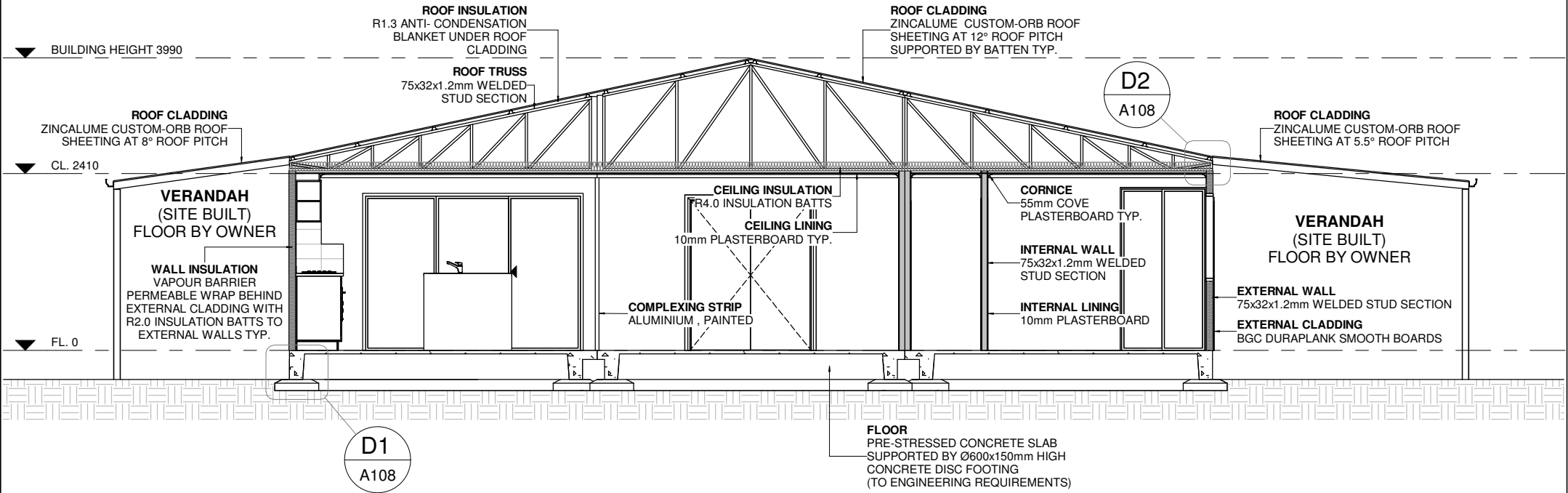
L2 L'DRY L2
A107 1 : 50

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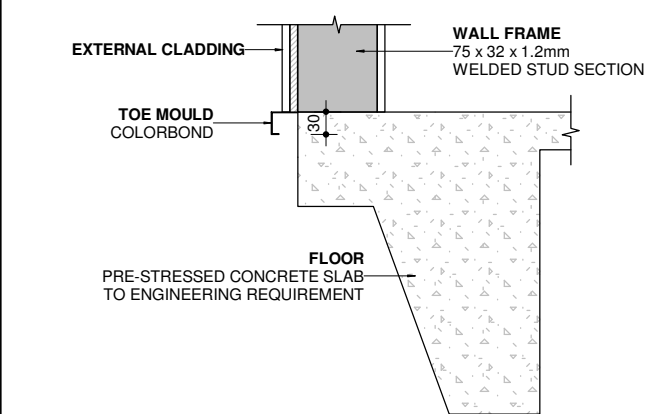
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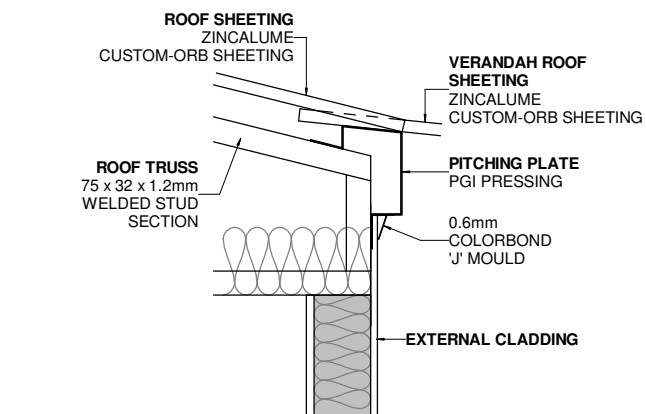
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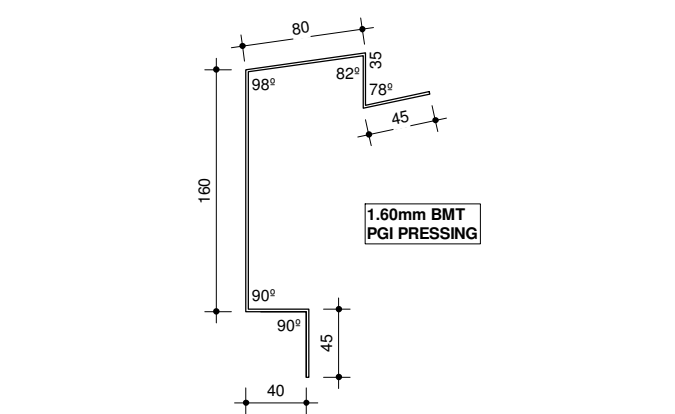
S1 BUILDING SECTION
A108 1 : 75



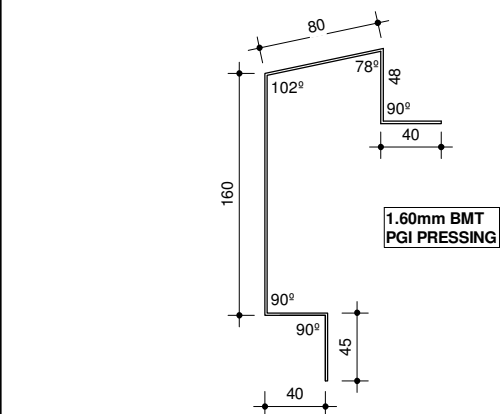
D1 TOE MOULD DETAIL
A108 1 : 10



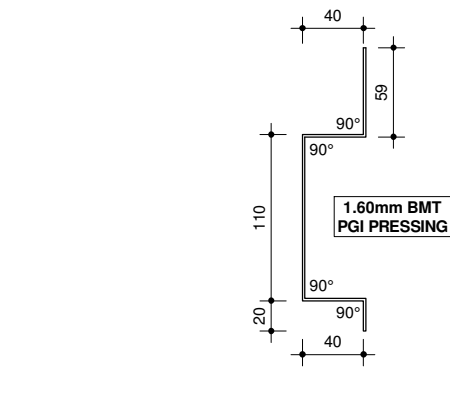
D2 PITCHING PLATE DETAIL TYP.
A108 1 : 10



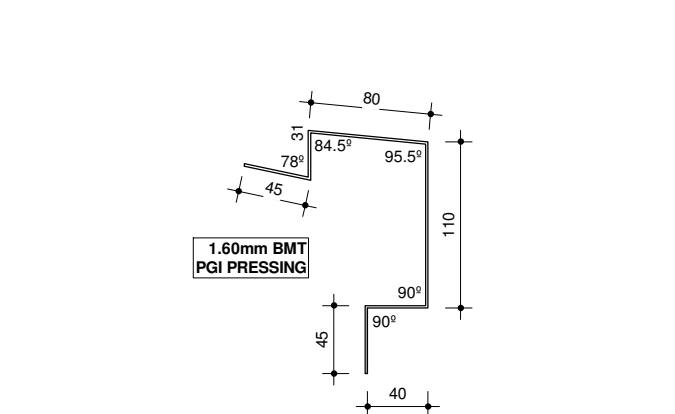
D3 PP1 PITCHING PLATE PROFILE
A108 1 : 5



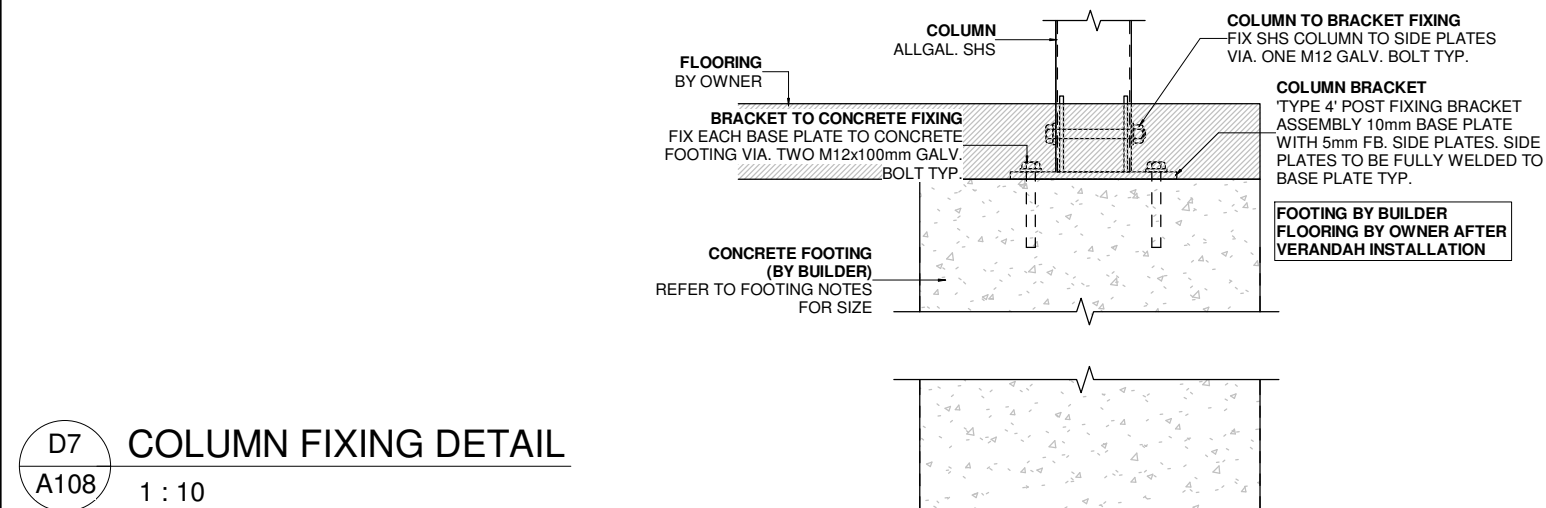
D4 PP2 PITCHING PLATE PROFILE
A108 1 : 5



D5 PP3 PITCHING PLATE PROFILE
A108 1 : 5



D6 PP4 PITCHING PLATE PROFILE
A108 1 : 5




D7 COLUMN FIXING DETAIL
A108 1 : 10

CLIENT:	TAYLOR & OTTO
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HOUSE TYPE:	ASHBURTON (MODIFIED)

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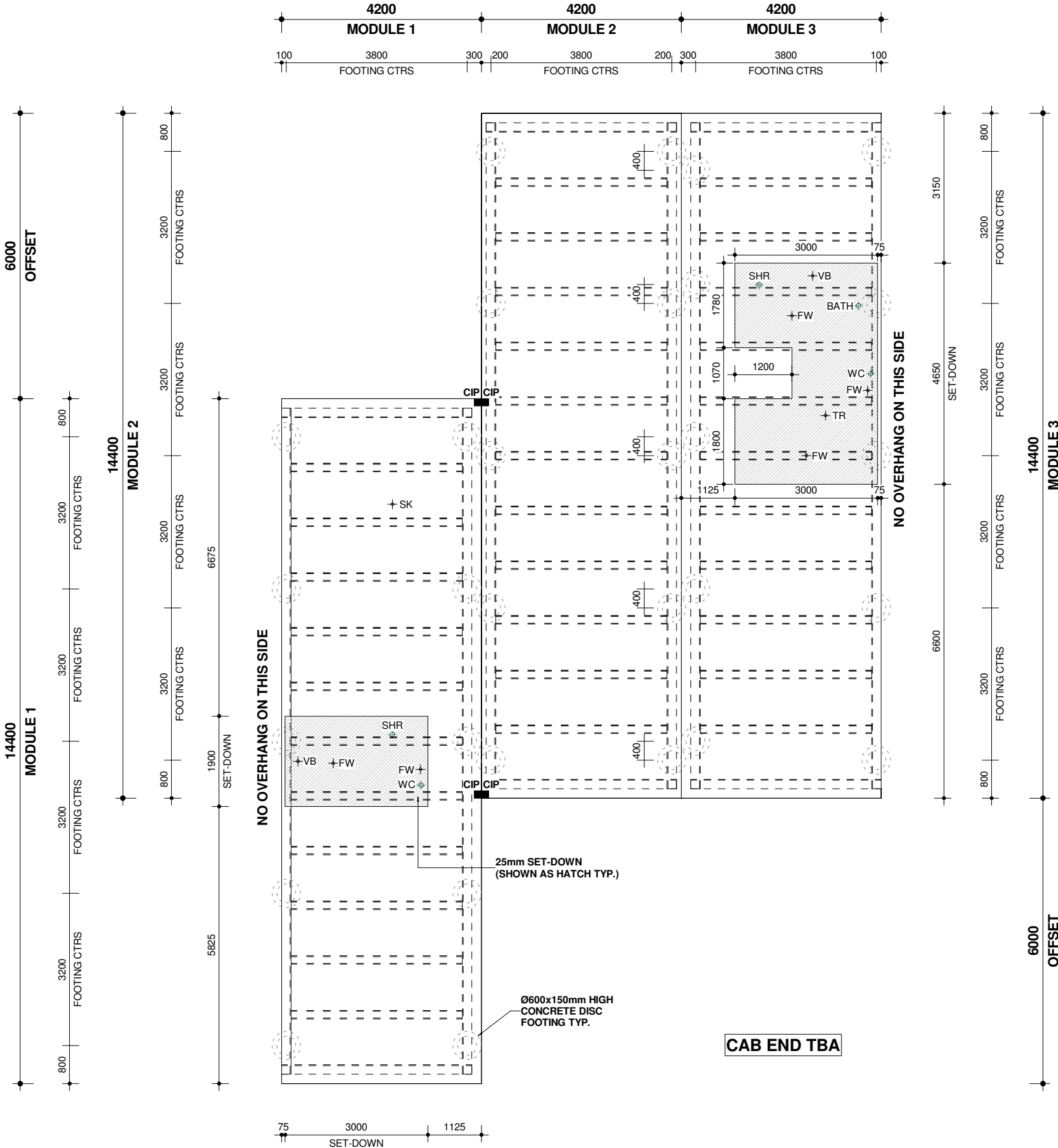
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FOUNDATION NOTES:


1. FOUNDATION SOIL TO BE CLEAN, COMPACT, NATURAL GROUND, FREE OF EXCESSIVE MOISTURE.
2. GROUND SHALL BE COMPACTED TO ACHIEVE:
FOR SAND SITES, MINIMUM 6 BLOWS OVER 150-450 MM, 7 BLOWS OVER 450-750 MM, AND 9 BLOWS OVER 750-1050 MM WITH A PERTH SAND PENETROMETER (AS1289.6.3.3) FOR COHESIVE/GRAVEL SITES, MINIMUM 6 BLOWS OVER 150MM USING A DYNAMIC CONE PENETROMETER (DCP) THROUGH ALL FILL OR TO 600MM IN NATURAL GROUND.
3. PREPARE SITE SUCH THAT SURFACE RUNOFF CANNOT DRAIN OVER OR UNDER FOUNDATIONS.
4. FOOTING HAS BEEN DESIGNED FOR SOIL CLASS "S"

DO NOT SCALE FROM THIS DRAWING
ALL CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO COMMENCEMENT OF ANY WORKS AND ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.

PENETRATIONS		
CIP	CAST IN PLATE	150 SQ
FW	FLOOR WASTE	65Ø
VB	VANITY BASIN	65Ø
SK	KITCHEN SINK	65Ø
TR	TROUGH	65Ø
WC	WC PAIN	125Ø
SHR	SHOWER WASTE	125Ø



1 CONCRETE SLAB PLAN
A109 1 : 100

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					CHECKED:	BT	
					REV:	SHEET	
					SCALE:	B 1 : 100	A109

CONNECTION NOTES:

- ALL RHS CONNECTION TO BE MIN. 2mm THK 'U' BRACKET WITH 3-12g TEKSCREWS TO SUPPORTING MEMBER AND 2-12g TEKSCREWS ON BOTH SIDES OF THE ABUTTING MEMBER UNO.

- FIX PITCHING PLATE TO WALL FRAME VIA 2-14g TEKSCREWS TO EVERY SECOND VERTICAL WALL FRAME STUD MEMBER
OR
AT 1200mm MAX. CTRS

PURLIN NOTES:

- PURLINS TO BE SPACED AT 900mm MAX. CTRS AT EACH END OF STRUCTURE.

- INTERMEDIATE PURLINS TO BE EVENLY SPACED UP TO 1200mm MAX. CTRS

FOOTING NOTES:

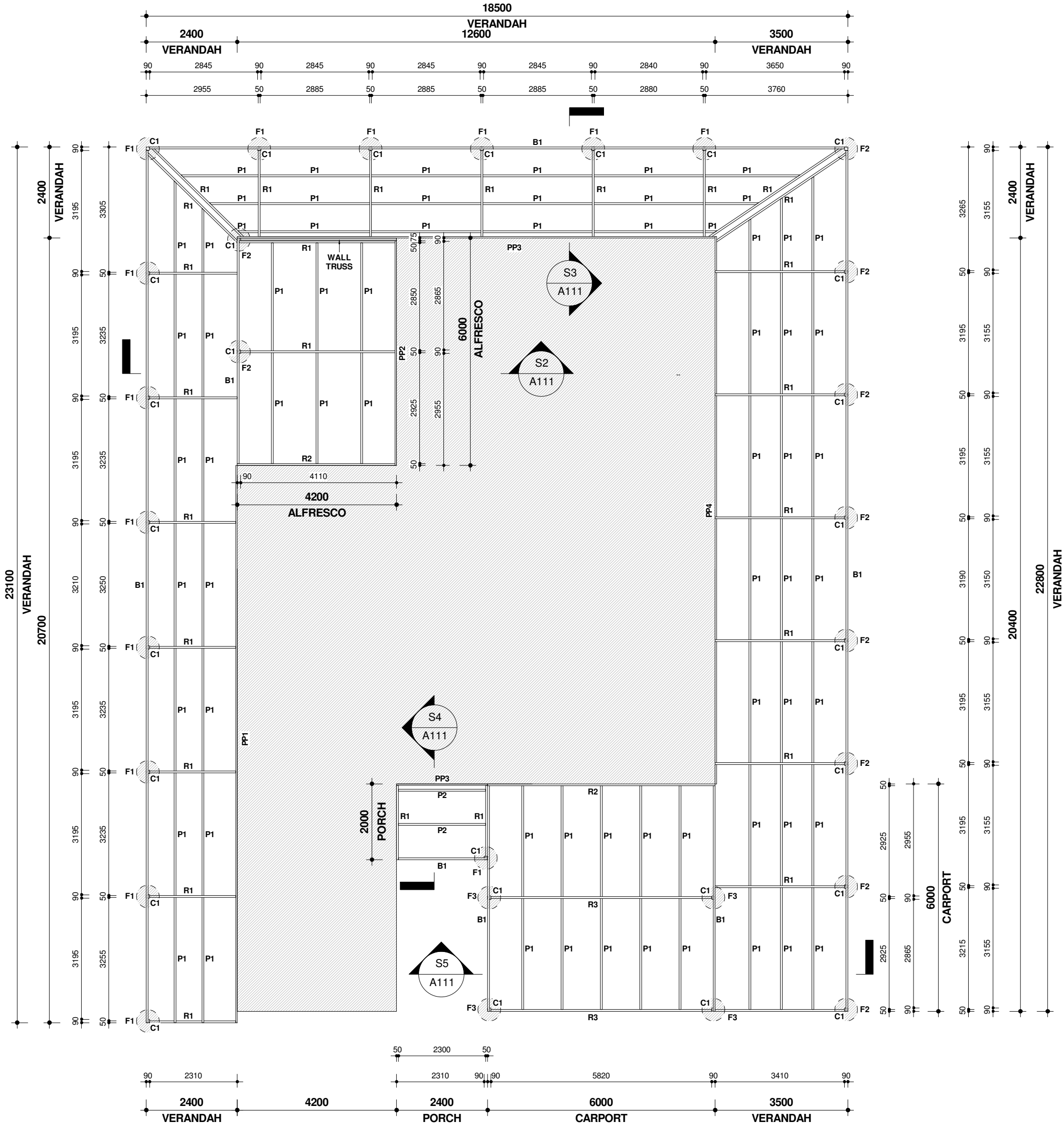
F1 - Ø600 x 450D MASS CONCRETE FOOTING
F2 - Ø600 x 600D MASS CONCRETE FOOTING
F3 - Ø600 x 800D MASS CONCRETE FOOTING

ROOF STRUCTURE:

DESIGNED TO BE NON-TRAFFICABLE. UNDER NO CIRCUMSTANCES SHALL ANY ITEMS BE STORED AND OR INSTALLED ON THIS ROOF SPACE

MEMBER SCHEDULE:

'B1' BEAM - 150x50x2.0mm ALLGAL. RHS
'C1' COLUMN - 90x90x2.0mm ALLGAL. SHS
'P1' PURLIN - 75x50x2.0mm ALLGAL. RHS
'P2' PURLIN - 76x38x1.6mm ALLGAL. RHS
'R1' RAFTER - 100x50x2.0mm ALLGAL. RHS
'R2' RAFTER - 150x50x2.0mm ALLGAL. RHS
'R3' RAFTER - 150x50x3.0mm ALLGAL. RHS
'PP1' PITCHING PLATE - 160x40x1.6mm PGI PRESSING
'PP2' PITCHING PLATE - 160x40x1.6mm PGI PRESSING
'PP3' PITCHING PLATE - 110x40x1.6mm 'D' PGI PRESSING
'PP4' PITCHING PLATE - 110x40x1.6mm PGI PRESSING



1 STRUCTURAL PLAN
A110 1 : 100


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PAYNES FIND, WA 6612

HOUSE TYPE: ASHBURTON (MODIFIED)

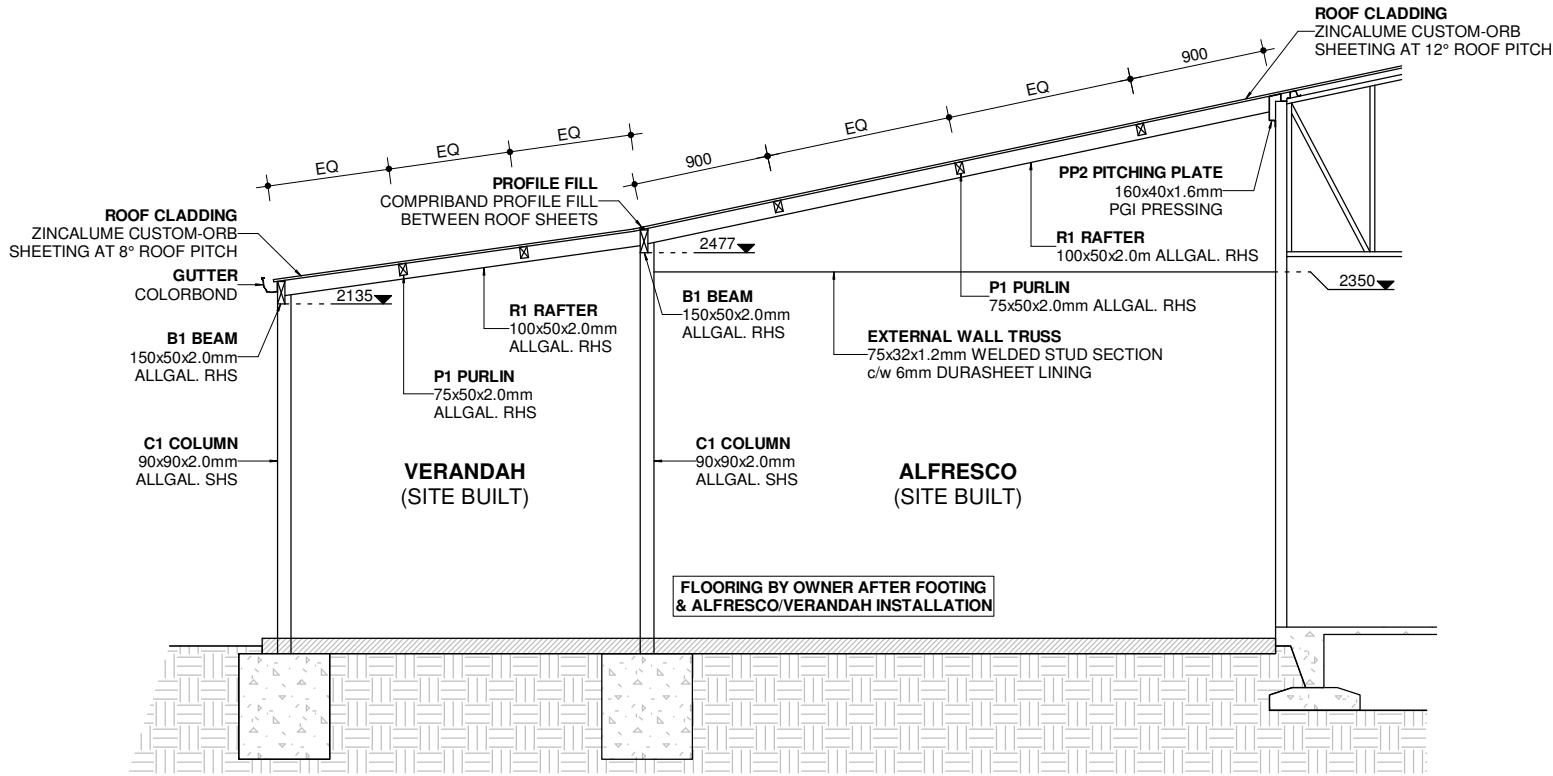
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REV:	SHEET
SCALE:	A110
1 : 100	



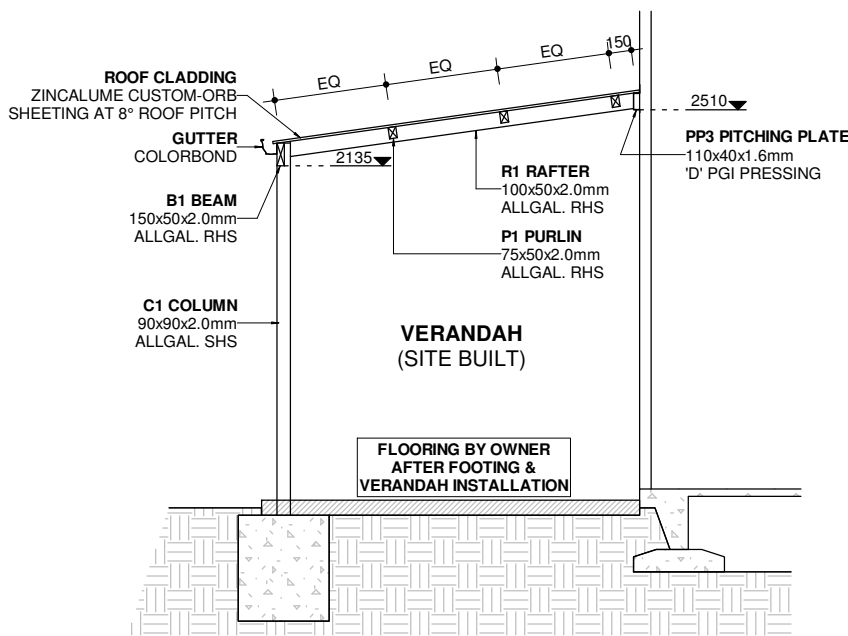
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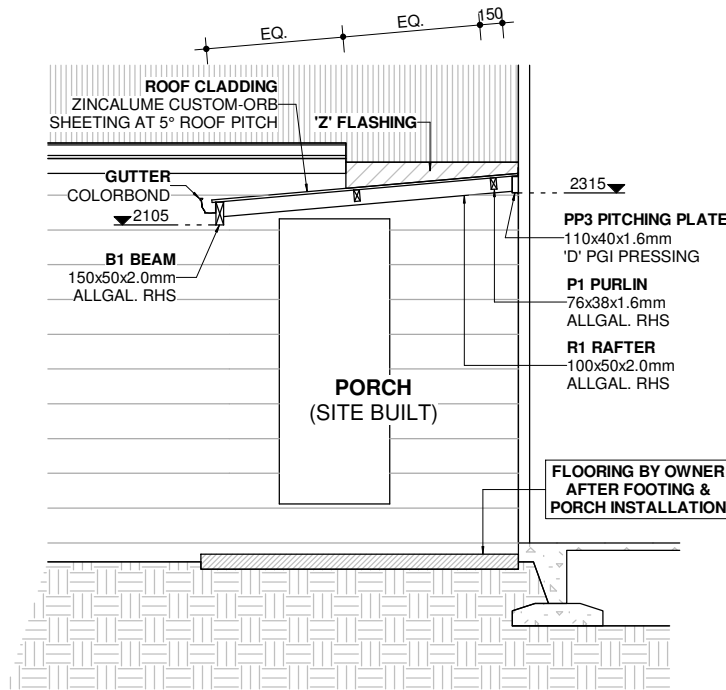
S2 ALFRESCO SECTION

A111 1 : 50



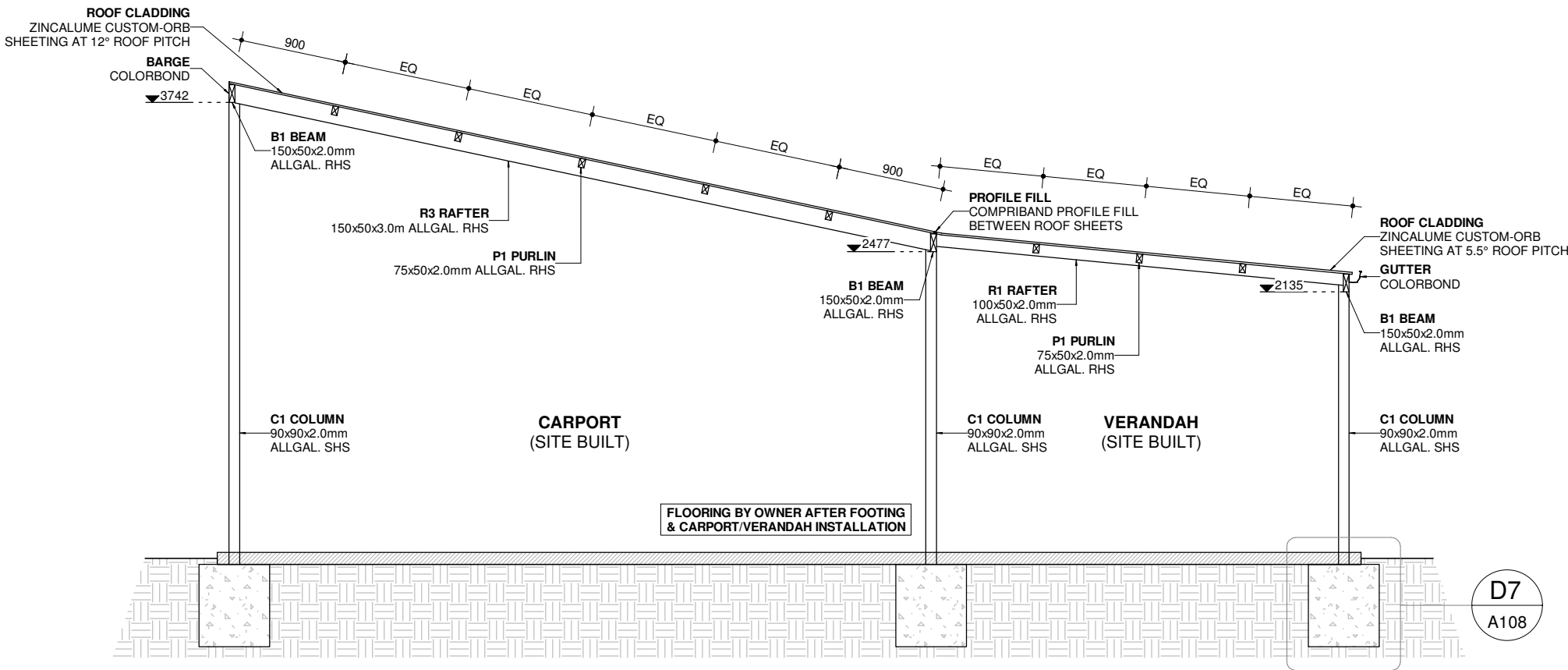
S3 REAR VERANDAH SECTION

A111 1 : 50



S4 PORCH SECTION

A111 1 : 50



S5 CARPORT SECTION

A111 1 : 50

CLIENT:	TAYLOR & OTTO
ADDRESS:	LOT 4235 BATTERY RD. PAYNES FIND, WA 6612
HOUSE TYPE:	ASHBURTON (MODIFIED)

Rev	Description	Date
A	Prepare PPA Plans	11/11/20
B	Prepare working drawings	10/02/21

JOB No.	20132
DATE:	12/02/2021 12:06:31 PM
DRAWN:	ZY
CHECKED:	BT
REV:	SHEET
SCALE:	A111
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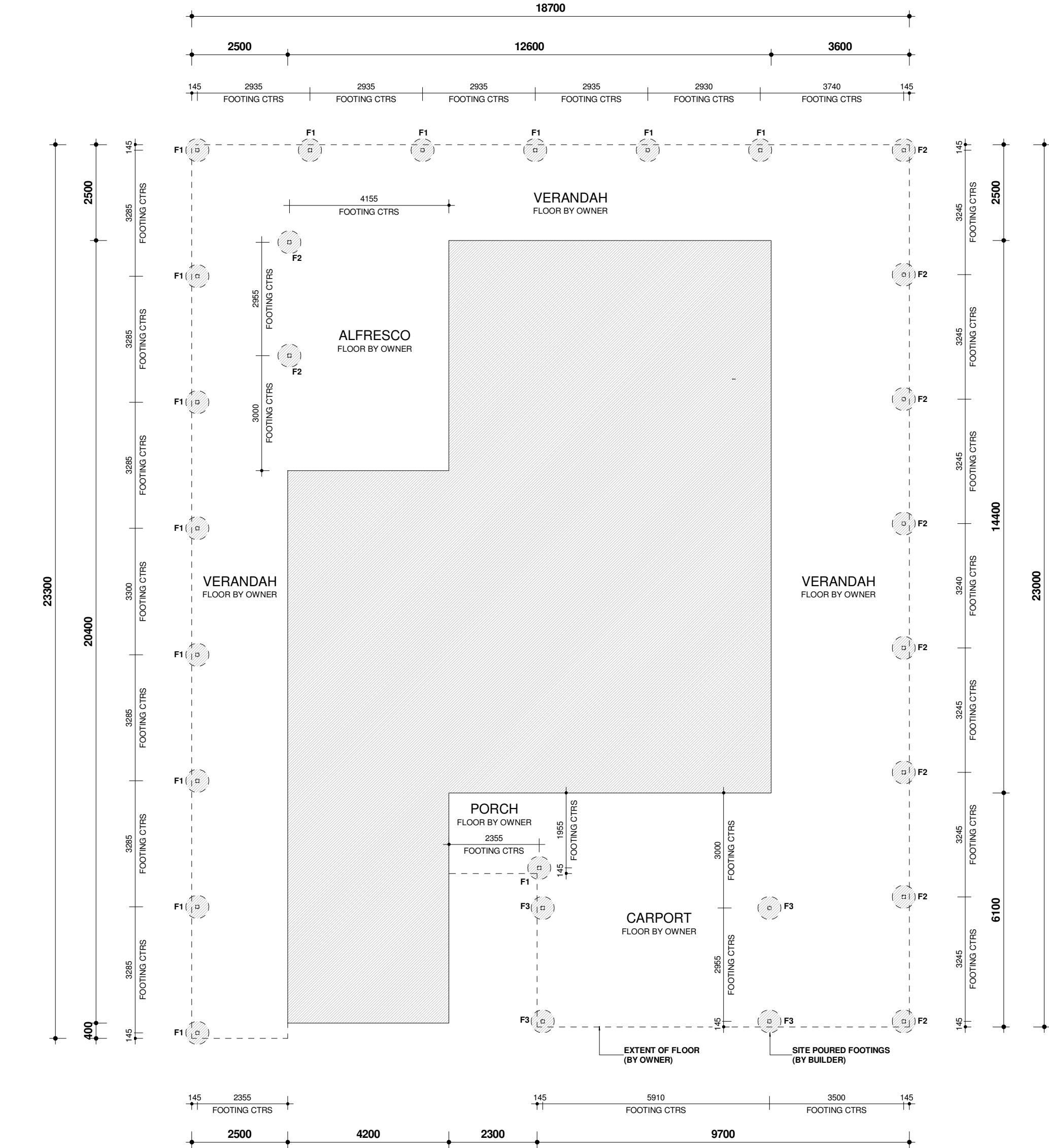
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FOOTING NOTES:

- F1 - Ø600 x 450D MASS CONCRETE FOOTING
- F2 - Ø600 x 600D MASS CONCRETE FOOTING
- F3 - Ø600 x 800D MASS CONCRETE FOOTING




1 SITE FOOTING PLAN
A112 1 : 100

CLIENT:	TAYLOR & OTTO
ADDRESS:	LOT 4235 BATTERY RD. PAYNES FIND, WA 6612
HOUSE TYPE:	ASHBURTON (MODIFIED)

Rev	Description	Date
A	Prepare PPA Plans	11/11/20
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JOB No.	20132
DATE:	12/02/2021 12:06:31 PM
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REV:	SHEET
SCALE:	1 : 100
	A112



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Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
	Suburb			State	Postcode	
Local government area						
Main BCA class of the building		Use(s) of the building				
Description of the building or works						

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL

BPAD Accredited Practitioner Details

Name	<p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. BPAD 42204</p> <p>Signature <i>[Signature]</i></p> <p>Date 8/04/2021</p> <p>Authorised Practitioner Stamp</p>
Company Details	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.



Local Government Use:

AS 3959 Bushfire Attack Level (BAL) Assessment Report

PROPERTY LOCATION DETAILS

Lot 4235 Battery Road

Paynes Find WA 6612

Shire of Yalgoo

PROPOSED WORKS

Planning Stage: Building Application (submitted through planning)

Main BCA Class: Class 1 **Use(s):** Residential **Lot Size:** 35.6945Ha

Description: Proposed Residential Dwelling

REPORT DETAILS

Job Reference Number: 201029

Report Version: v1.0

Assessment Date: 6 April 2021

Report Date: 8 April 2021

BUSHFIRE PLANNING AND DESIGN (BPAD) ACCREDITED PRACTITIONER DETAILS**Name:** Sarina Gorman**Company Details:**BPP Group Pty Ltd t/a Bushfire Prone Planning
ACN: 39 166 551 784 | ABN: 39 166 551 784Level 1, 159-161 James Street
Guildford WA 6055PO Box 388
Guildford WA 6935

08 6477 1144 | admin@bushfireprone.com.au

**I hereby declare that I am a BPAD
accredited bushfire practitioner.****Accreditation No.** BPAD 42204**Signature****Date** 8 April 2021

Authorised Practitioner Stamp

REVIEWED/APPROVED**ACCREDITATION****SIGNATURE**

Kathy Nastov

BPAD Level 3 - No. 27794

This report has been prepared by an Accredited BPAD Practitioner using the Simplified Procedure (Method 1) as detailed in Section 2 of AS 3959:2018.

Fire Protection Association Australia as the accrediting body for BPAD accreditation, makes no warranties as to the accuracy of the information provided in the report. All enquiries related to the information and conclusions presented in this report must be made to the practitioner who prepared this report.

Reliance on the assessment and determination of the Bushfire Attack Level contained in this report should not extend beyond a period of 12 months from the date of issue of the report. If this report was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated report and/or BAL Certificate issued.

Limitation of Liability: The measures contained in this Report, are considered to be minimum requirements and they do not guarantee that a building will not be damaged in a bushfire, persons injured, or fatalities occur either on the subject site or off the site while evacuating. This is substantially due to the unpredictable nature and behaviour of fire and fire weather conditions. Additionally, the correct implementation of the required bushfire protection measures will depend upon, among other things, the ongoing actions of the landowners and/or operators over which Bushfire Prone Planning has no control.

All surveys, forecasts, projections and recommendations made in this report associated with the proposed development are made in good faith based on information available to Bushfire Prone Planning at the time. All maps included herein are indicative in nature and are not to be used for accurate calculations.

Notwithstanding anything contained therein, Bushfire Prone Planning will not, except as the law may require, be liable for any loss or other consequences whether or not due to the negligence of their consultants, their servants or agents, arising out of the services provided by their consultants.

LANDOWNER RESPONSIBILITIES

Construction Requirements: The bushfire construction standard to be applied to the assessed building works must be that which corresponds to the determined BAL in this assessment report and are established by AS 3959:2018 or the NASH Standard (refer to additional landowner information at the end of this report).

Comply with the Landowner Responsibilities Established by the Bushfire Management Plan (BMP): If the property (lot) is subject to an approved BMP (refer to the land title), all responsibilities created must be complied with. This will include the management of vegetation within the lot to a minimal fuel, low threat state to create an asset protection zone (APZ). The required dimensions of the APZ are established by either those corresponding to the determined BAL established by this BAL Assessment Report or those established by the Firebreak and Fuel Load Notice, whichever is greater (refer to additional landowner information at the end of this report).

Comply with the Local Government Firebreak & Fuel Load Notice: The requirement exists to comply with the relevant local government's Firebreak & Fuel Load Notice created under Section 33 of the Bushfires Act 1954 and issued annually to landowners (and available on their website).

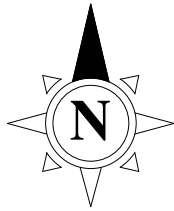
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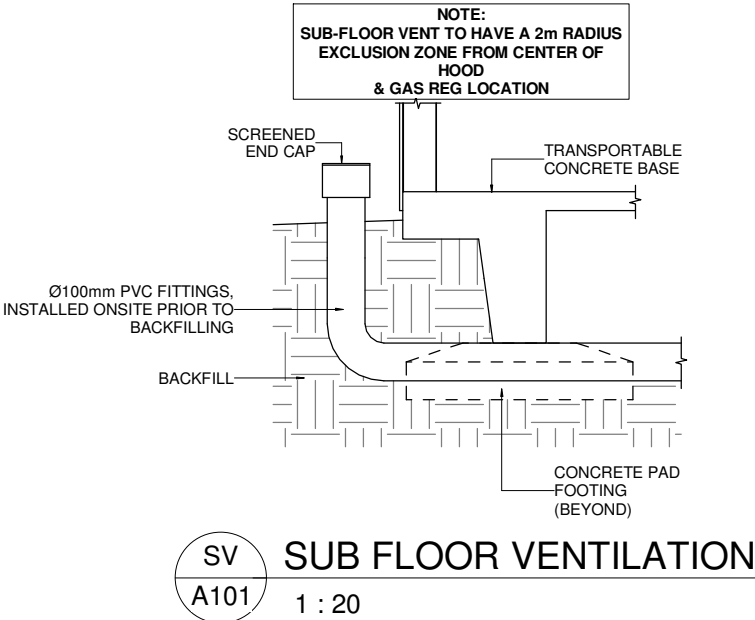
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F.F.L - FINISHED FLOOR LEVEL
F.C.L - FINISHED CUT/COMPACT LEVEL
N.G.L - NATURAL GROUND LEVEL




1 SITE PLAN
A101 1 : 1000



CLIENT:	TAYLOR & OTTO
ADDRESS:	LOT 4235 BATTERY RD. PAYNES FIND, WA 6612
HOUSE TYPE:	ASHBURTON (MODIFIED)

Rev	Description	Date
A	Prepare PPA Plans	11/11/20

JOB No.	20132
DATE:	11/11/2020 2:32:56 PM
DRAWN:	BT
CHECKED:	WI
REV:	SHEET
SCALE:	A101
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






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Figure 1.1
Site Assessment Map

Lot 4235 on Plan / Diagram P186357
Battery Road
Paynes Find
Shire of Yalgoo

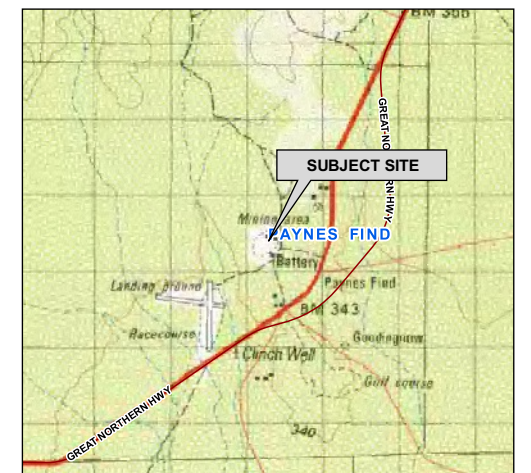
----- **LEGEND** -----

-  Photos
-  Elevation (m)
-  Subject Site
- Proposal**
-  Dwelling
- Assessment Area**
-  100m Buffer
-  150m Buffer
- Classified Vegetation**
-  Exclusion 2.2.3.2

0 10 20 30 40 50

Metres

----- **LOCALITY** -----



AERIAL IMAGERY: Landgate/SLIP



Coordinate System: GDA 1994 MGA Zone 50
Projection: Universal Transverse Mercator Units: Metre
Map by: Sarina Gorman 08-04-2021
SCALE (A3): 1 : 1200

201029_REMOTE_SAM_Lot_4235_Battery_Road_Paynes Find.qgz

VEGETATION ASSESSMENT AND CLASSIFICATION

In accordance with AS 3959:2018 Section 2, clause 2.2.3, FPA Australia guidance and the Visual Guide for Bushfire Risk Assessment in WA (DoP February 2016), all vegetation within 150 metres of the site (part of the lot on which a building stands or is to be erected) is assessed and classified. Vegetation of any type more than 100m from the site is excluded from the BAL assessment.

VEGETATION AREA 1

AS 3959:2018 Vegetation Classification Applied:	Excluded as per Section 2.2.3.2 (e&f) Low Threat Vegetation & Non-Vegetated Areas
Vegetation Types Present:	Low Threat Vegetation & Non-Vegetated Areas
Description/Justification:	<p>Area has been excluded under clause 2.2.3.2 (e & f) of AS3959-2018 due to a combination of non-vegetated areas, saline wetlands (saltbush) present and the overall discontinuous fuels in the area. Any potentially classifiable vegetation in the area is extremely sparse. As such it will not support a running fire. Access roads/hardstand areas cleared of unmanaged vegetation.</p> <p>NOTE: There is a risk of ember attack and as such, Bushfire Prone Planning recommends proposed dwelling be constructed to a minimum of BAL-12.5 to improve the protection for occupants and the building's survivability.</p>



Photo ID: 1



Photo ID: 2

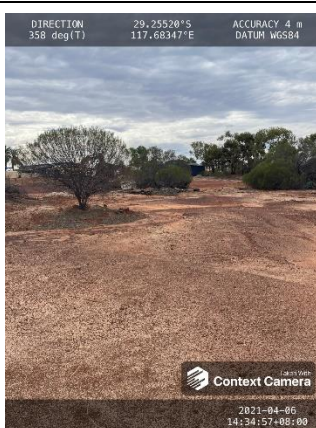



Photo ID: 3



Photo ID: 4

VEGETATION AREA 1	
AS 3959:2018 Vegetation Classification Applied:	Excluded as per Section 2.2.3.2 (e&f) Low Threat Vegetation & Non-Vegetated Areas
Vegetation Types Present:	Low Threat Vegetation & Non-Vegetated Areas
Description/Justification:	<p>Area has been excluded under clause 2.2.3.2 (e & f) of AS3959-2018 due to a combination of non-vegetated areas, saline wetlands (saltbush) present and the overall discontinuous fuels in the area. Any potentially classifiable vegetation in the area is extremely sparse. As such It will not support a running fire. Access roads/hardstand areas cleared of unmanaged vegetation.</p> <p>NOTE: There is a risk of ember attack and as such, Bushfire Prone Planning recommends proposed dwelling be constructed to a minimum of BAL-12.5 to improve the protection for occupants and the building's survivability.</p>
	
Photo ID: 5	

RELEVANT FIRE DANGER INDEX
<p>The fire danger index (FDI) for this site has been determined in accordance with AS 3959:2018 Table 2.1 or otherwise determined in accordance with a jurisdictional variation applicable to the site.</p> <p>The vegetation separation distances that will correspond to each Bushfire Attack Level (BAL) when Method 1 BAL determination methodology is applied, are established in Tables 2.4 to 2.7 (as associated with each FDI).</p>
<p>FDI 40 (Table 2.7) <input type="checkbox"/> FDI 50 (Table 2.6) <input type="checkbox"/> FDI 80 (Table 2.5) <input checked="" type="checkbox"/> FDI 100 (Table 2.4) <input type="checkbox"/></p>

POTENTIAL BUSHFIRE IMPACTS –SUMMARY CALCULATION INPUT DATA (AS 3959:2018 METHOD 1 AND METHOD 2) AND BUSHFIRE ATTACK LEVELS (BAL)											
The Building Works	Vegetation Area	Method 1 and 2			Method 1	Method 2					Calculated Bushfire Attack Level
		Vegetation Classification	Separation Distance	Effective Slope Under Classified Vegetation			Site Slope	EOR	Flame Width	Flame Temp	
				Measured	Applied	Applied					
			(metres)	(degrees)	(degree range)	(degrees)	(degrees)	(metres)	(metres)	deg K	
Proposed Residential Dwelling	1	Excluded AS3959:2018 2.2.3.2 (e &f)	N/A	N/A	N/A	-	-	-	-	-	BAL-LOW

ASSESSMENT RESULT - THE BUSHFIRE ATTACK LEVEL ESTABLISHING BUSHFIRE CONSTRUCTION REQUIREMENTS

In accordance with clause 2.2.6 of AS 3959:2018 and the application of the above BAL analysis, the highest assessed BAL will apply to each entire building works - excepting where an elevation is considered to be shielded (see below).

The BAL will be considered as '**Determined**', and a BAL Certificate can be issued, if the design and position of the proposed building works on the lot is known and there is no requirement for additional vegetation to be modified or cleared – as this establishes the vegetation separation distance that will exist in perpetuity.

The BAL will be considered as '**Indicative**' (conditional) if the above condition cannot be met. The proposed building works will be subject to meeting certain conditions (established below if applicable) before the BAL can be considered determined and a BAL Certificate issued. The single exception to this condition is when the proposed works of any dimension can be positioned anywhere on a proposed lot (within R-Code building setbacks) or within a defined building envelope, and always remain subject to the same BAL, regardless of the ongoing existence of existing classified vegetation either onsite or offsite.

Building Works No.1	Proposed Residential Dwelling	DETERMINED BUSHFIRE ATTACK LEVEL	BAL-LOW
---------------------	-------------------------------	---	----------------

REDUCTION IN CONSTRUCTION REQUIREMENTS DUE TO SHIELDING

In accordance with AS 3959:2018 clause 3.5, where an elevation is not exposed to any source of bushfire attack, then the construction requirements for that elevation (all wall elements only), can reduce to the next lower BAL, but not below BAL-12.5.

Building Works No.1	Proposed Residential Dwelling	The shielding provisions cannot be applied.
---------------------	-------------------------------	---

ADDITIONAL LANDOWNER INFORMATION: EXPLANATION OF BUSHFIRE ATTACK LEVELS AND REFERENCES FOR CONSTRUCTION REQUIREMENTS

AS 3959:2018 *Construction of buildings in bushfire prone areas*, defines a Bushfire Attack Level (BAL) as a "means of measuring the severity of a building's potential exposure to ember attack, radiant heat and direct flame contact, using increments of radiant heat flux expressed in kW/m², and is the basis for establishing the requirements for construction to improve protection of building elements from attack by bushfire."

Bushfire Attack Level	Explanation of BAL Levels	References for Construction Requirements	
		AS 3959:2018 Construction of Buildings in Bushfire Prone Areas	The Nash Standard – Steel Framed Construction in Bushfire Areas
		Referenced by the Building Code of Australia for Building Classes 1, 2, 3 & 10a	Referenced by the Building Code of Australia for Building Classes 1 & 10a
BAL – LOW	There is insufficient risk to warrant specific construction requirements but there is still some risk. <i>(Note: DFES recommend that ember attack protection features be incorporated in the design where practicable).</i>	Section 4. No Requirements	No Requirements
BAL – 12.5	There is a risk of ember attack. Construction elements are expected to be exposed to heat flux not greater than 12.5 kW/m ²	Sections 3 & 5.	All construction requirements for BAL-12.5 to BAL-40 are the same except for windows and external doors, which must comply with AS 3959. The construction requirements are set out as essentially non-combustible construction systems for each of the following building elements: Section 1.4: General Requirements Section 2: Roof and Ceiling System Section 3: External Wall System Section 4: Floor System Section 5: Carports Verandahs and Decks.
BAL – 19	There is a risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to radiant heat. The construction elements are expected to be exposed to a heat flux not greater than 19 kW/m ² .	Sections 3 & 6	
BAL – 29	There is an increased risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to an increased level radiant heat. The construction elements are expected to be exposed to a heat flux not greater than 29 kW/m ² .	Sections 3 & 7.	
BAL – 40	There is a much increased risk of ember attack and burning debris ignited by windborne embers, a likelihood of exposure to a high level of radiant heat and some likelihood of direct exposure to flames from the fire front. The construction elements are expected to be exposed to a heat flux not greater than 40kW/m ² .	Sections 3 & 8.	
BAL – FZ (Flame Zone)	There is an extremely high risk of ember attack and burning debris ignited by windborne embers, and a likelihood of exposure to an extreme level of radiant heat and direct exposure to flames from the fire front. The construction elements are expected to be exposed to a heat flux greater than 40 kW/m ² .	Sections 3 & 9.	The construction requirements are set out in Sections 1-5 and differ from the requirements for all other BAL ratings.

ADDITIONAL LANDOWNER INFORMATION: ASSET PROTECTION ZONE (APZ)

REQUIREMENTS ESTABLISHED BY THE GUIDELINES – THE APZ

(Source: Guidelines for Planning in Bushfire Prone Areas - WAPC 2017 v1.3 Appendix 4, Element 2, Schedule 1 and Explanatory Note E2.1)

DEFINING THE ASSET PROTECTION ZONE (APZ)

Description: An APZ is an area surrounding a building that is managed to reduce the bushfire hazard to an acceptable level (by reducing fuel loads). The width of the required APZ varies with slope and vegetation and varies corresponding to the BAL rating determined for a building (lower BAL = greater dimensioned APZ).

For planning applications, the minimum sized acceptable APZ is that which is of sufficient size to ensure the potential radiant heat impact of a fire does not exceed 29kW/m^2 (BAL-29). It will be site specific.

For subdivision planning, design elements and excluded/low threat vegetation adjacent to the lot(s) can be utilised to achieve the required vegetation separation distances and therefore reduce the required dimensions of the APZ within the lot(s).

Defendable Space: The APZ includes a defendable space which is an area adjoining the asset within which firefighting operations can be undertaken to defend the structure. Vegetation within the defendable space should be kept at an absolute minimum and the area should be free from combustible items and obstructions. The width of the defendable space is dependent on the space, which is available on the property, but as a minimum should be 3 metres.

Establishment: The APZ should be contained solely within the boundaries of the lot on which the building is situated, except in instances where the neighbouring lot or lots will be managed in a low-fuel state on an ongoing basis, in perpetuity.

The APZ may include public roads, waterways, footpaths, buildings, rocky outcrops, golf courses, maintained parkland as well as cultivated gardens in an urban context, but does not include grassland or vegetation on a neighbouring rural lot, farmland, wetland reserves and unmanaged public reserves.

[Note: Regardless of whether an Asset Protection Zone exists in accordance with the acceptable solutions and is appropriately maintained, fire fighters are not obliged to protect an asset if they think the separation distance between the dwelling and vegetation that can be involved in a bushfire, is unsafe.]

Schedule 1: Standards for APZ

Fences: within the APZ are constructed from non-combustible materials (e.g. iron, brick, limestone, metal post and wire). It is recommended that solid or slatted non-combustible perimeter fences are used.

Objects: within 10 metres of a building, combustible objects must not be located close to the vulnerable parts of the building i.e. windows and doors.

Fine Fuel Load: combustible dead vegetation matter less than 6 mm in thickness reduced to and maintained at an average of two tonnes per hectare (example below).

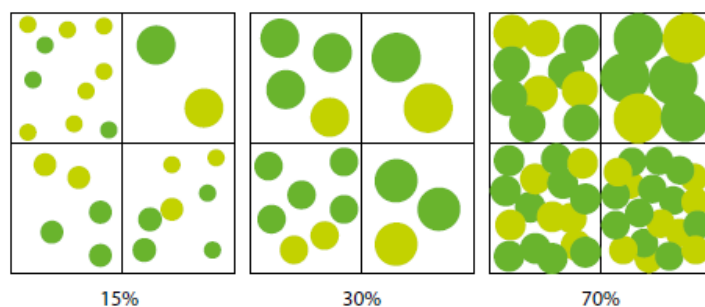


Example: Fine fuel load of 2 t/ha

(Image source: Shire of Augusta Margaret River's Firebreak and Fuel Reduction Hazard Notice)

Trees (> 5 metres in height): trunks at maturity should be a minimum distance of 6 metres from all elevations of the building, branches at maturity should not touch or overhang the building, lower branches should be removed to a height of 2 metres above the ground and or surface vegetation, canopy cover should be less than 15% with tree canopies at maturity well spread to at least 5 metres apart as to not form a continuous canopy. Diagram below represents tree canopy cover at maturity.

Tree canopy cover – ranging from 15 to 70 per cent at maturity



(Source: Guidelines for Planning in Bushfire Prone Areas 2017, Appendix 4)

Shrubs (0.5 metres to 5 metres in height): should not be located under trees or within 3 metres of buildings, should not be planted in clumps greater than 5m² in area, clumps of shrubs should be separated from each other and any exposed window or door by at least 10 metres. Shrubs greater than 5 metres in height are to be treated as trees.

Ground covers (<0.5 metres in height): can be planted under trees but must be properly maintained to remove dead plant material and any parts within 2 metres of a structure, but 3 metres from windows or doors if greater than 100 mm in height. Ground covers greater than 0.5 metres in height are to be treated as shrubs.

Grass: should be managed to maintain a height of 100 mm or less.

The following example diagrams illustrate how the required dimensions of the APZ will be determined by the type and location of the vegetation.

Hazard on one side

APZ



Hazard on three sides

APZ



REQUIREMENTS ESTABLISHED BY THE LOCAL GOVERNMENT – THE FIREBREAK NOTICE

The relevant local government's current Firebreak Notice is available on their website, at their offices and is distributed as ratepayer's information. It must be complied with.

These requirements are established by the relevant local government's Firebreak Notice created under s33 of the Bushfires Act 1954 and issued annually (potentially with revisions). The Firebreak Notice may include additional components directed at managing fuel loads, accessibility and general property management with respect to limiting potential bushfire impact.

If Asset Protection Zone (APZ) specifications are defined in the Firebreak Notice, these may differ from the Standards established by the Guideline's, with the intent to better satisfy local conditions. When these are more stringent than those created by the Guidelines, or less stringent and endorsed by the WAPC and DFES, they must be complied with.

The APZ dimensions to be physically established and maintained, will be based on which of the following establishes the larger APZ dimension:

- The dimensions corresponding to the determined BAL of a building; or
- The APZ dimensions established by the local government's Firebreak Notice.

REQUIREMENTS RECOMMENDED BY DFES – PROPERTY PROTECTION CHECKLISTS

Further guidance regarding ongoing/lasting property protection (from potential bushfire impact) is presented in the publication 'DFES – Fire Chat – Your Bushfire Protection Toolkit'. It is available from the Department of Fire and Emergency Services (DFES) website.

REQUIREMENTS ESTABLISHED BY AS 3959:2018 – 'MINIMAL FUEL CONDITION'

This information is provided for reference purposes. It identifies what is required for an area of land to be excluded from classification as a potential bushfire threat.

"Australian Standard - AS 3959:2018 Section 2.2.3.2: Exclusions - Low threat vegetation and non-vegetated areas:

The Bushfire Attack Level shall be classified BAL-LOW where the vegetation is one or a combination of the following:

- a) *Vegetation of any type that is more than 100m from the site.*
- b) *Single areas of vegetation less than 1ha in area and not within 100m of other areas of vegetation being classified vegetation.*
- c) *Multiple area of vegetation less than 0.25ha in area and not within 20m of the site or each other or other areas of vegetation being classified vegetation.*
- d) *Strips of vegetation less than 20m in width (measured perpendicular to the elevation exposed to the strip of vegetation) regardless of length and not within 20m of the site or each other, or other areas of vegetation being classified vegetation.*
- e) *Non-vegetated areas, that is, areas permanently cleared of vegetation, including waterways, exposed beaches, roads, footpaths, buildings and rocky outcrops.*
- f) *Vegetation regarded as low threat due to factors such as flammability, moisture content or fuel load. This includes grassland managed in a **minimal fuel condition**, (means insufficient fuel available to significantly increase the severity of a bushfire attack – for example, recognisable as short cropped grass to a nominal height of 100mm), mangroves and other saline wetlands, maintained lawns, golf courses (such as playing areas and fairways), maintained public reserves and parklands, sporting fields, vineyards, orchards, banana plantations, market gardens (and other non-curing crops), cultivated gardens, commercial nurseries, nature strips and windbreaks (single row of trees)."*

WESTERN



AUSTRALIA

REGISTER NUMBER	
4235/DP186357	
DUPLICATE EDITION	DATE DUPLICATE ISSUED
N/A	N/A

RECORD OF QUALIFIED CERTIFICATE OF CROWN LAND TITLE

VOLUME FOLIO
LR3012 725

UNDER THE TRANSFER OF LAND ACT 1893
AND THE LAND ADMINISTRATION ACT 1997
NO DUPLICATE CREATED

The undermentioned land is Crown land in the name of the STATE OF WESTERN AUSTRALIA, subject to the interests and Status Orders shown in the first schedule which are in turn subject to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 4235 ON DEPOSITED PLAN 186357

STATUS ORDER AND PRIMARY INTEREST HOLDER: (FIRST SCHEDULE)

STATUS ORDER/INTEREST: RESERVE UNDER MANAGEMENT ORDER

PRIMARY INTEREST HOLDER: WESTERN AUSTRALIAN MINT

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS: (SECOND SCHEDULE)

1. RESERVE 15209 FOR THE PURPOSE OF MINERAL PROCESSING MANAGEMENT ORDER. CONTAINS CONDITIONS TO BE OBSERVED. WITH POWER TO LEASE FOR ANY TERM NOT EXCEEDING 21 YEARS.
2. L520725 MEMORIAL. CONTAMINATED SITES ACT 2003 REGISTERED 30/12/2010.

Warning: (1) A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.
(2) The land and interests etc. shown hereon may be affected by interests etc. that can be, but are not, shown on the register.
(3) The interests etc. shown hereon may have a different priority than shown.

-----END OF CERTIFICATE OF CROWN LAND TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND:	DP186357
PREVIOUS TITLE:	LR3012-725
PROPERTY STREET ADDRESS:	LOT 4235 GREAT NORTHERN HWY, PAYNES FIND.
LOCAL GOVERNMENT AUTHORITY:	SHIRE OF YALGOO
RESPONSIBLE AGENCY:	GOLD CORPORATION

END OF PAGE 1 - CONTINUED OVER

ORIGINAL CERTIFICATE OF CROWN LAND TITLE
QUALIFIED

REGISTER NUMBER: 4235/DP186357 VOLUME/FOLIO: LR3012-725

PAGE 2

NOTE 1: L046469 CORRESPONDENCE FILE 08918-1913-01RO

6 star energy assessment

National Construction Code, Volume 2
Report completed using Ber's Pro software

Date: 14.12.20

BCA compliance assessment of:
Single dwelling (NCC Class 1)

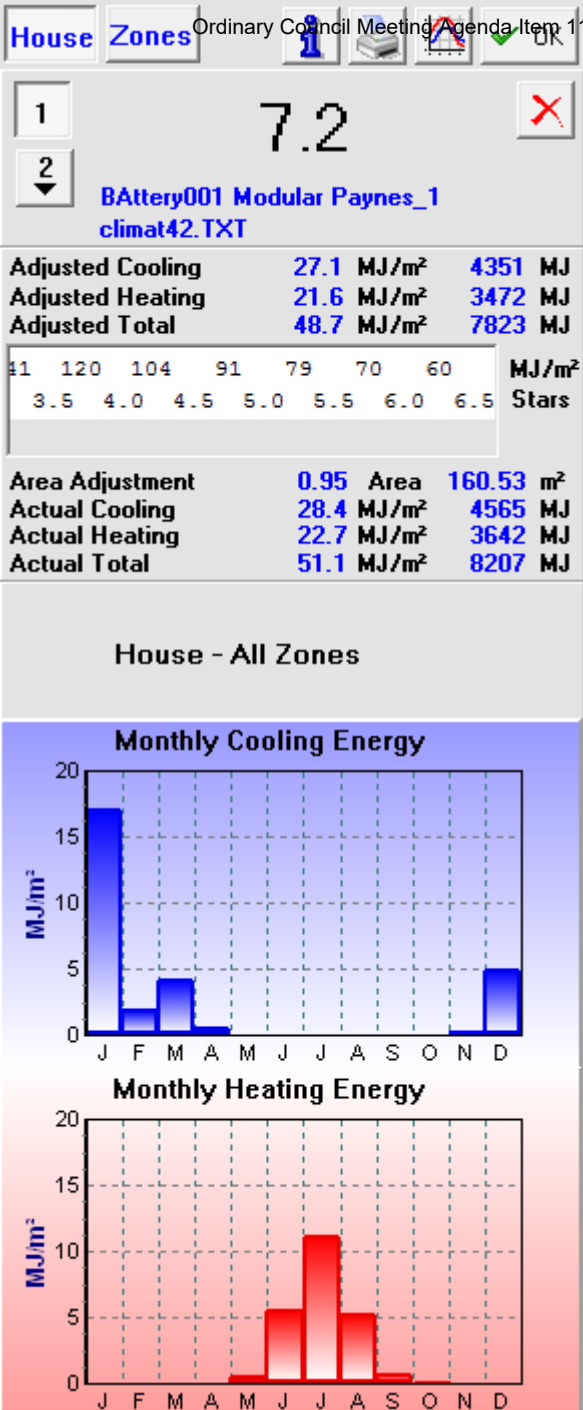
Project address:
Lot 4235 Battery Rd, Paynes Find

Prepared BY: Luke Kellett

A handwritten signature in black ink that reads "Luke Kellett". The signature is written in a cursive, flowing style.

BSc. Architectural Design
MSc. CAD & Construction
Building Thermal Energy Assessor

1 Erindale Rd, Balcatta
Luke@kellettdesigngroup.com.au
0450 288 461



BUILDING THERMAL ENERGY ASSESSMENT

COMPLETED USING: BERS PRO PLUS

Simulation Details:

Adjusted Heating: 21.6 MJ/m2
Adjusted Cooling: 27.1 MJ/m2
Adjusted Total: 48.7 MJ/m2

Clients Details:

Name: Modular WA
Address: 31 Challenge Blvd, Wangara
Email: sales@modularwa.com.au



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Dwelling Address:

Lot No: 4235
Unit no: -
Street No: -
Street Name: Battery Rd
Suburb: Paynes Find

Assessor Details:

Name: Luke Kellett
Bsc. Arch Design
Msc. CAD & Construction
Email: Luke@kellettdesigngroup.com.au
Address : 132/a Raglan Rd, North Perth

Signed: 

Date: 14.12.20



THIS ENERGY RATING HAS BEEN BASED ON THE INFORMATION PROVIDED AT THE TIME OF ASSESSMENT. MODIFICATIONS TO THE DESIGN WILL EFFECT THE STAR RATING

Building Element Details

Project BAttery001 Modular Paynes Run 1
 PAYNES FIND PC 6612 Lat -29.50 Long 117.80 Climate File climat42.TXT

Summary

Conditioned Area	160.5 m ² (156.0 m ²)
Unconditioned Area	22.0 m ² (21.1 m ²)
Glazed Common Area	0.0 m ² (0.0 m ²)
Total Floor Area	182.5 m ² (177.1 m ²)
Total Glazed Area	27.1 m ²
Total External Solid door Area	5.0 m ²
Glass to Floor Area	14.8 %
Gross External Wall Area	159.1 m ²
Net External Wall Area	127.0 m ²

Window

27.1 m ²	ALM-001-01 A DEFAULTS	Uval 6.70	SHGC 0.57
	Glass	Clear	
	Frame	ALM-001 Aluminium Group A	SG

External Wall

127.0 m ²	Fibro Cavity Panel Direct Fix	Bulk Insulation R2.20
----------------------	-------------------------------	-----------------------

Internal Wall

144.4 m ²	Cavity wall, direct fix plasterboard, single gap	No Insulation
----------------------	--	---------------

External Floor

154.6 m ²	Suspended Concrete Slab 125mm Vinyl 3mm	No Insulation
20.1 m ²	Suspended Concrete Slab 125mm Ceramic Tiles 8mm	No Insulation
7.8 m ²	Suspended Concrete Slab 125mm Bare	No Insulation

External Ceiling

182.5 m ²	Plasterboard	Bulk Insulation R4.0 Unventilated roofspace
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Roof (Horizontal area)

182.5 m ²	Corrugated Iron	Bulk+Foil Sided Bubble Wrap. Reflective Side Down R 1.3	12° slope	Gable both ends roof
----------------------	-----------------	---	-----------	----------------------

Summary:

Roof:

Metal-Unvented + Ant-con 60 (R1.3)

Ceilings:

R4.0 Bulk insulation throughout

Walls:

External-Stud + R2.0 insulation + FoilBlanket

Internal-Stud (No insulation to internal walls)

Floor:

Suspended concrete slab - No insulation required

Glazing:

All windows to be single glaze clear in aluminium frame.

Ceiling penetrations:

Modelled with unvented down lights- (Sealed)

Lighting:

Class 1 building = 5W/m^2

Verandah or Balcony = 4W/m^2

Class 10 building = 3W/m^2

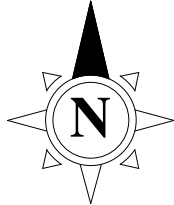
Water efficiency:

All tap fittings apart from bath outlets & garden taps) will be min. 4-star WELS rated.

All shower heads will be min. 3-star WELS rated.

All flushing systems will be min. 4-star WELS rated.

F.F.L - FINISHED FLOOR LEVEL
F.C.L - FINISHED CUT/COMPACT LEVEL
N.G.L - NATURAL GROUND LEVEL





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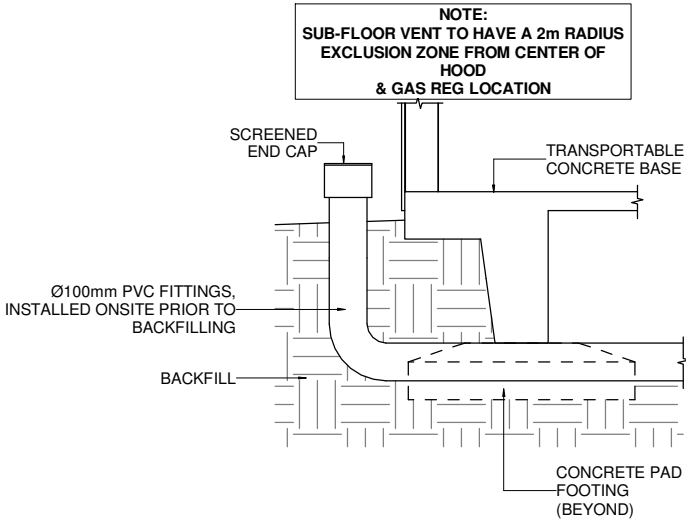
Signed *Luke Kellett*

Energy Assessor

1A101

SITE PLAN

1 : 1000



SV A101

SUB FLOOR VENTILATION

1 : 20

CLIENT:

TAYLOR & OTTO

ADDRESS:


LOT 4235 BATTERY RD.
PAYNES FIND, WA 6612

HOUSE TYPE:

ASHBURTON (MODIFIED)

Rev	Description	Date
A	Prepare PPA Plans	11/11/20

JOB No.	20132
DATE:	11/11/2020 2:32:56 PM
DRAWN:	BT
CHECKED:	WI
REV:	SHEET
SCALE:	A101
As indicated	

modularwa

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W: modularwa.com.au
e: sales@modularwa.com.au
Builders reg # 101630

Use figured dimensions in preference to scaled.
All dimensions to be verified and checked on the job. © .

GENERAL NOTES:

- DO NOT SCALE FROM THIS DRAWING. ALL CONTRACTORS TO CHECK DIMENSIONS AND NOTES PRIOR TO COMMENCEMENT OF ANY WORKS AND ANY DISCREPANCIES TO BE NOTIFIED TO THE SITE SUPERVISOR WITHOUT DELAY.
- DIMENSIONS SHOWN ON THIS PLAN ARE TO STEEL FRAME AND DOES NOT INCLUDE EXTERNAL CLADDING OR INTERNAL LINING WIDTH.
- FLOOR BY OWNER

CLIENT NOTE:

THIS PLAN IS TO BE READ IN CONJUNCTION WITH MODULAR WA ADDENDA AND ENGINEERED CERTIFIED DRAWINGS.

CARPENTERS NOTE:

SILICONE BEAD REQUIRED AT BASE OF WALL FRAMES TO ALL TILED WET AREAS

INTERNAL OPENINGS:

DHO: FLUSHED DOOR HEIGHT OPENING 2040mm A.F.L.
FHO: FULL HEIGHT OPENING

WINDOWS

WINDOW HEAD HEIGHT TO BE 2143mm A.F.L UNLESS NOTED OTHERWISE

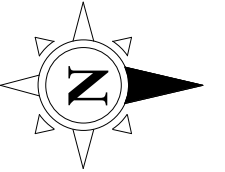
ABBREVIATION LEGEND

HP	HOT PLATE	BRM	BROOM	W	WINDOW
RH	RANGEHOOD	V	VANITY	COL	COLUMN
UBO	UNDERBENCH OVEN	B	BASIN	H/H	HEAD HEIGHT
OHC	OVERHEAD CUPBOARD	OBS	OBSURE	RWP	RAIN WATER PIPE
DR	DRAWER	TF	TIMBER FRAME	SV	SUB-FLOOR VENT
FR/FZ REC	FRIDGE / FREEZER RECESS	D	DOOR	FW	FIXED WINDOW
DW REC	DISHWASHER RECESS	SD	SLIDING DOOR		
TR	TROUGH	(P)	PRIVACY LATCH		
WM REC	WASHING MACHINE RECESS				
TRH	TOILET ROLL HOLDER				
DTR	DOUBLE TOWEL RAIL				
TRG	TOWEL RING				
SR	SHOWER RAIL / ROSE				
CAP	CEILING ACCESS PANEL				

**BUSHFIRE ATTACK
LEVEL (BAL): TBA**

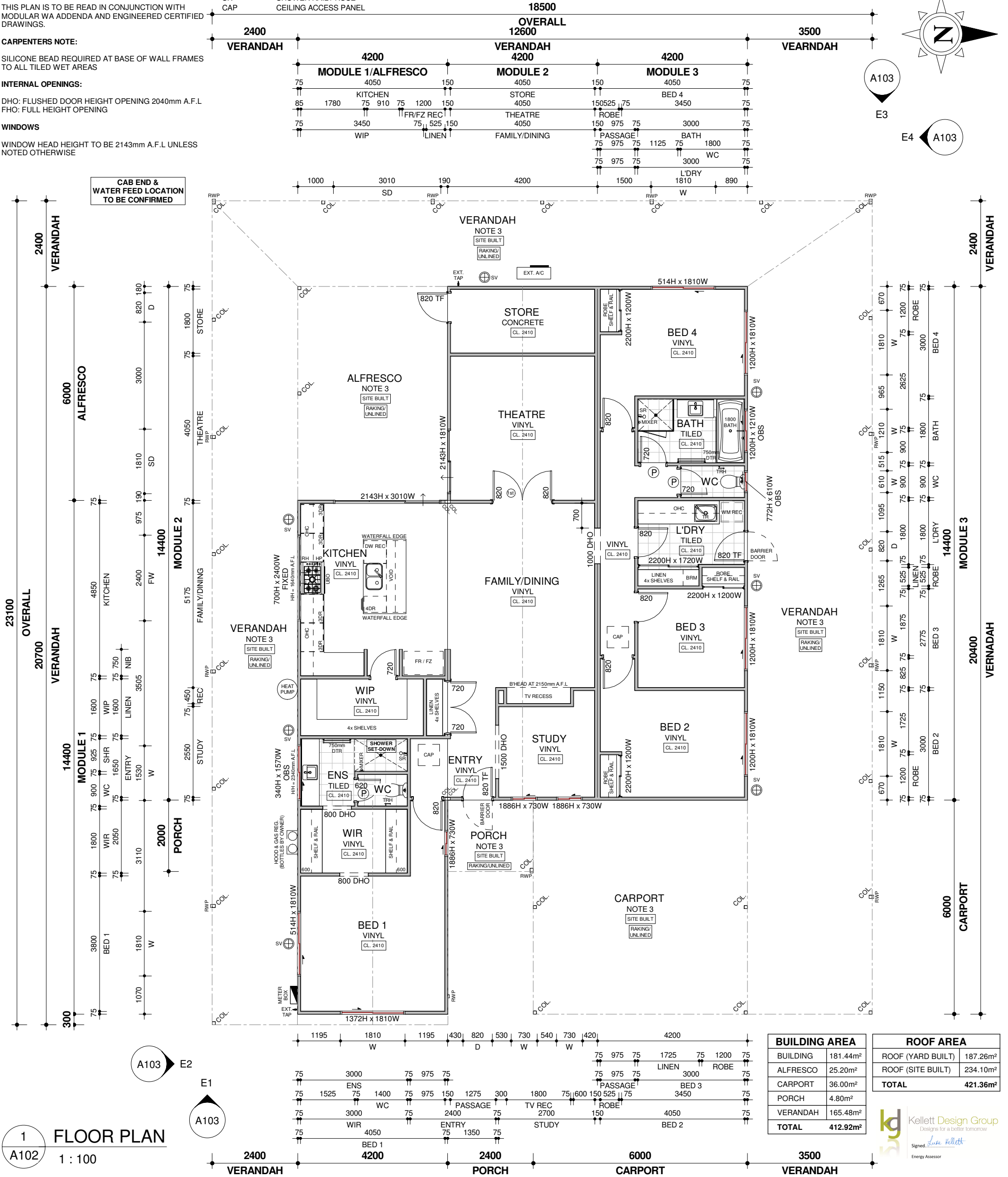
**WIND CLASSIFICATION:
REGION A**

SOIL CLASSIFICATION: "TBA"



A103
E3

A103
E4



BUILDING AREA	
BUILDING	181.44m²
ALFRESCO	25.20m²
CARPORT	36.00m²
PORCH	4.80m²
VERANDAH	165.48m²
TOTAL	412.92m²

ROOF AREA	
ROOF (YARD BUILT)	187.26m²
ROOF (SITE BUILT)	234.10m²
TOTAL	421.36m²

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Signed: Luke Kellett
Energy Assessor

1 FLOOR PLAN
1 : 100

CLIENT:	TAYLOR & OTTO
ADDRESS:	LOT 4235 BATTERY RD. PAYNES FIND, WA 6612
HOUSE TYPE:	ASHBURTON (MODIFIED)

Rev	Description	Date
A	Prepare PPA Plans	11/11/20

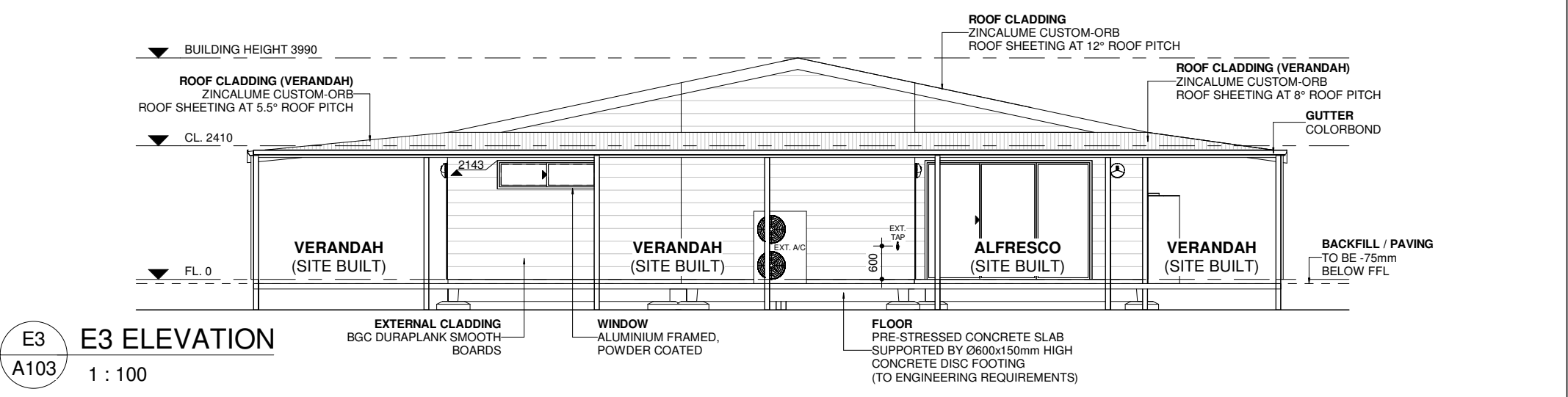
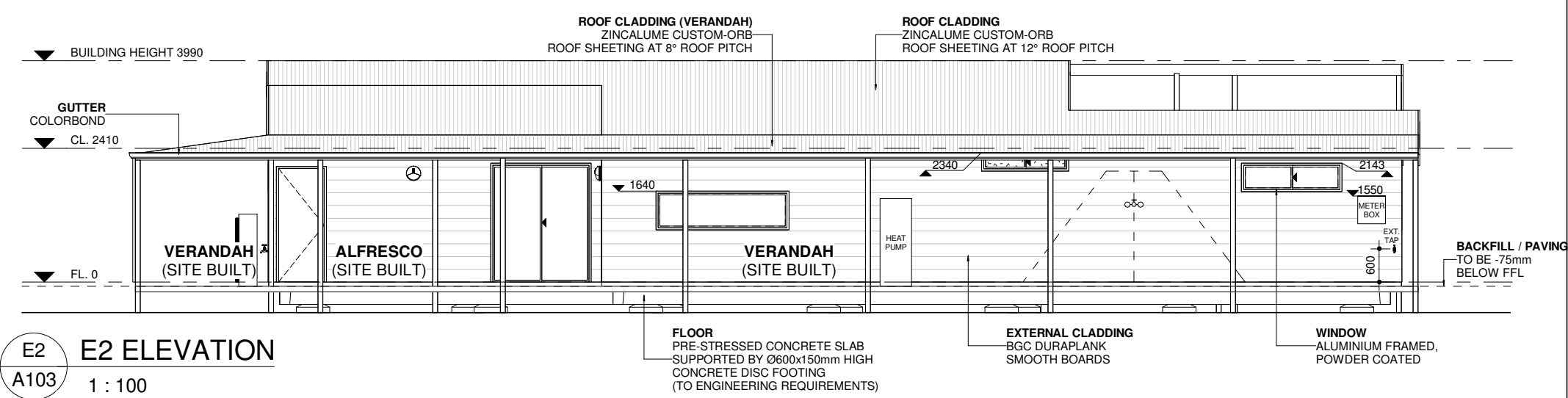
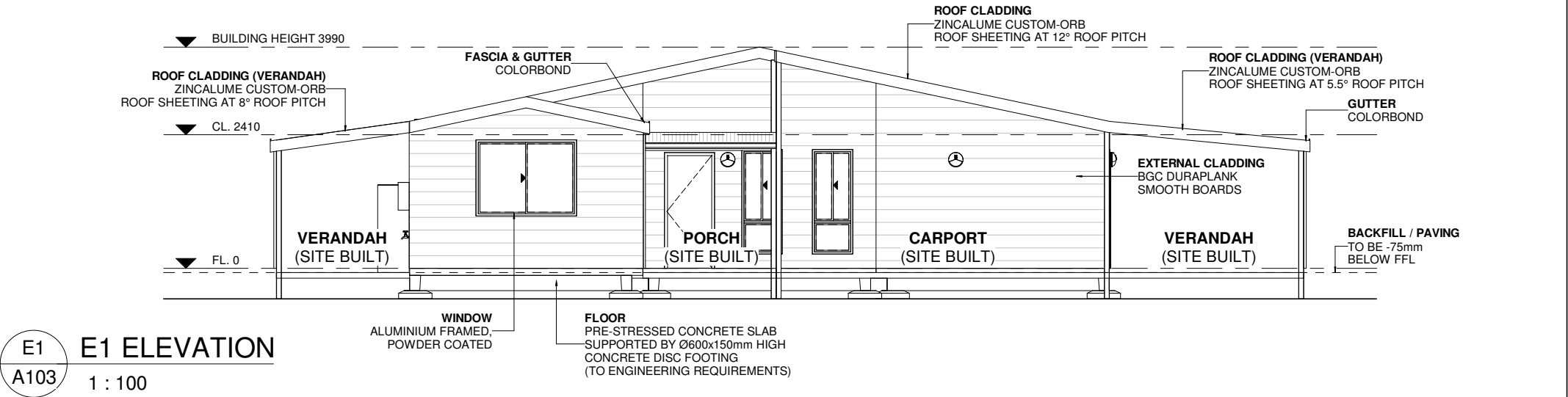
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DRAWN:	BT
CHECKED:	WI
REV:	SHEET
SCALE:	A102
1 : 100	

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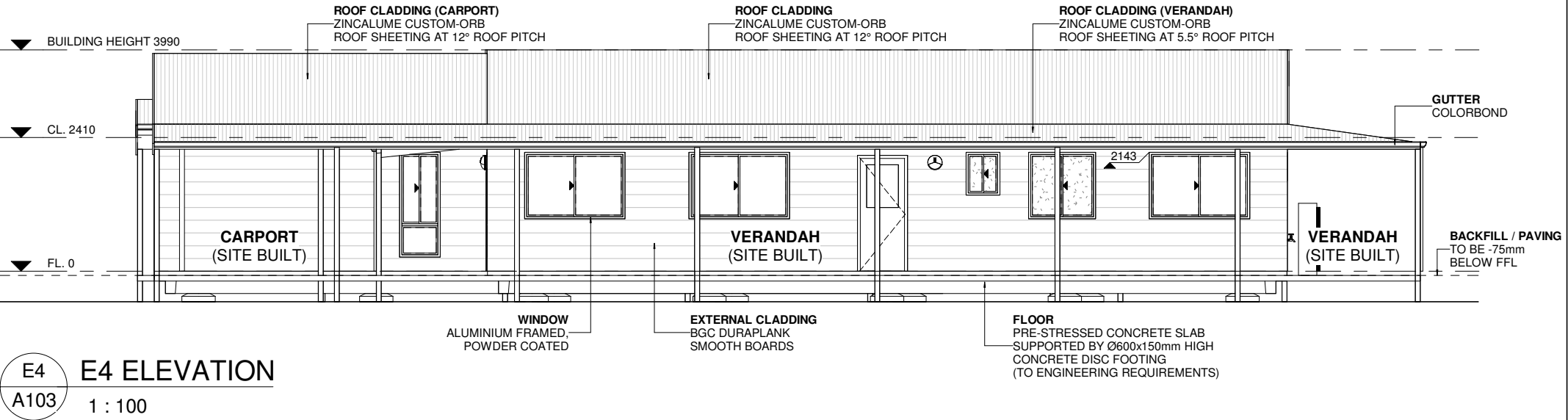
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BACKFILL
(BY OWNER)




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Signed Lisa Kellett
Energy Assessor



CLIENT:	TAYLOR & OTTO
ADDRESS:	LOT 4235 BATTERY RD. PAYNES FIND, WA 6612
HOUSE TYPE:	ASHBURTON (MODIFIED)
























Rev	Description	Date
A	Prepare PPA Plans	11/11/20

JOB No.	20132
DATE:	11/11/2020 2:32:59 PM
DRAWN:	BT
CHECKED:	WI
REV:	SHEET
SCALE:	A103 1 : 100



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ELECTRICAL LEGEND	
	CEILING LIGHT - L.E.D OYSTER FITTING
	CEILING LIGHT - L.E.D DOWNLIGHT FITTING
	EXTERNAL WALL LIGHT
	EXTERNAL WALL LIGHT - UP/DOWN
	L.E.D. SURFACE MOUNTED BATTEN
	MOTION SENSOR
	SINGLE GPO
	DOUBLE GPO
	QUAD GPO
	SINGLE WEATHERPROOF GPO
	DOUBLE WEATHERPROOF GPO
	ISOLATION SWITCH
	AIR CONDITIONER UNIT ISOLATOR
	PHONE / DATA OUTLET
	TV POINT
	LIGHT SWITCH
	HARDWIRED SMOKE DETECTOR c/w BATTERY BACKUP
	EXHAUST FAN FLUMED
	HEAT / LIGHT / FAN
	LIGHT / FAN
	CEILING FAN
	CEILING FAN c/w LIGHT
	METER BOX

THREE PHASE POWER

DUCTED A/C
4xZONES
9x CEILING OUTLETS
LOCATION TO BE
CONFIRMED



ELECTRICAL NOTES:

- 1. ALL ELECTRICAL HEIGHTS ARE MEASURED FROM FINISHED FLOOR LEVEL
- 2. ALL LIGHT SWITCHES TO BE 1200mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
- 3. INTERNAL GENERAL POWER OUTLETS, PHONE & DATA POINTS TO BE 300mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
- 4. EXTERNAL GENERAL POWER OUTLETS AND EXTERNAL ISO SWITCH TO BE 1200mm ABOVE FINISHED FLOOR LEVEL UNLESS OTHERWISE NOTED
- 5. EXTERNAL LIGHT FITTINGS TO BE 1900mm ABOVE FINISHED FLOOR LEVEL - MEASURED TO UNDERSIDE OF FITTING
- 6. POWER TO DISHWASHER RECESS, ELECTRIC OVEN, RANGEHOOD, HOT PLATE, HOT WATER SYSTEM.
- 7. KITCHEN & L'DRY GPO'S TO BE ON SEPARATE CIRCUIT.

AIR CONDITIONING NOTE:

- 1. ALL EXTERNAL A/C BOOTS TO BE LOCATED MIN. 400mm ABOVE FFL.
- 2. FIRE BLANKET TO BE INSTALLED AROUND PIPES PRIOR TO INSTALLING ALL EXTERNAL A/C BOOTS.

1
A104

ELECTRICAL PLAN


1 : 100

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Signed Luke Kellett
Energy Assessor

CLIENT:	TAYLOR & OTTO
ADDRESS:	LOT 4235 BATTERY RD. PAYNES FIND, WA 6612
HOUSE TYPE:	ASHBURTON (MODIFIED)

Rev	Description	Date
A	Prepare PPA Plans	11/11/20

JOB No.	20132
DATE:	11/11/2020 2:32:59 PM
DRAWN:	BT
CHECKED:	ZY
REV:	SHEET
SCALE:	A104
1 : 100	



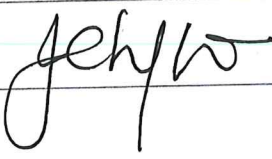

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Schedule 6

APPLICATION FOR PLANNING APPROVAL

OWNER DETAILS		
Name: GOLD CORPORATION T/A THE PERTH MINT		
Address: 310 HAY ST EAST PERTH		Postcode: 6004
Phone: — (work): — (home): 0423 824 798 (mobile):	Fax: — E-mail: jason.chaplin@perthmint.com	
Contact person: JASON CHAPLIN		
Signature: 	Date: 22nd APRIL 2021.	
Signature:	Date:	
Signature:	Date:	
<i>The signature of the owner(s) is required on all applications. This application will not proceed without that signature/s.</i>		
APPLICANT DETAILS		
Name: Modular WA		
Address: 31 Challenge Blvd, WANGARA WA		Postcode: 6055
Phone: (work): (home): (mobile):	Fax:	E-mail: contracts@modularwa.com.au 08 6454 0919
Contact person for correspondence: Tara Barrett		
Signature: 	Date: 24/03/2021	

PROPERTY DETAILS		
Lot No: 4235	House/Street No:	Location No:
Diagram or Plan No: 186357	Certificate of Title Vol. No: LR3012	Folio: 725
Diagram or Plan No:	Certificate of Title Vol. No:	Folio:
Title encumbrances (e.g. easements, restrictive covenants): As per Certificate of title		
Street name: Great Northern Highway	Suburb: Paynes Find	
Nearest street intersection:		

EXISTING BUILDING/LAND USE
Description of proposed development and/or use: Single Dwelling
Nature of any existing buildings and/or use: Vacant
Approximate cost of proposed development: \$377,708.00
Estimated time of completion: 6 months

OFFICE USE ONLY	
Acceptance Officer's initials:	Date received:
Local government reference no:	

05 May 2021

Shire of Yalgoo
PO Box 40
YALGOO WA 6635

Attention: Planning Department

Re: Lot 4235, Battery Rd, Paynes Find WA 6612

Please find attached a copy of the signed planning approval application form, development checklist form and plans to assess the planning application.

The proposed application is for a 4 bedroom, 2 bathroom new single storey modular dwelling to be placed on the abovementioned lot.

Can you please forward me an invoice for payment of the planning fees.

Please feel free to call the undersigned should you have any queries or concerns.

Yours faithfully
MODULAR WA

Tara Barrett
CONTRACTS ADMINISTRATION